

6 5 4 3 2 1

#	Note
1	REPLACE ALL MISSING AND BROKEN VERTICAL WOOD SLATS BENEATH WINDOW SEATS. RE-SECURE ALL LOOSE EXISTING WOOD SLATS. ALL WORK TO MATCH THE EXISTING DIMENSIONS AND CONDITIONS.
2	REPAIR ALL CRACKS, SPALLS AND MOISTURE DAMAGE TO THE EXISTING PLASTER WALLS.
3	SEE 5E/AF103.3 FOR SCOPE OF FIREPLACE WORK.
4	PATCH AREA OF WALL REMOVED FOR BEE EXTERMINATION TO MATCH ADJACENT EXISTING WALL FINISH. PRIOR TO PATCHING WALL, CONFIRM WITH OWNER THAT BEES HAVE NOT RETURNED. ADVISE OWNER OF ANY BEE ACTIVITY OBSERVED ON SITE.
5	REFINISH INTERIOR AND EXTERIOR OF WINDOWS AND WINDOW FRAMES.
6	FIX DOOR TRIM CRACKS AND REPLACE DOOR TRIM.
7	REFINISH STAIR TREADS.
8	REFINISH DOOR TRIM AND INTERIOR DOORS WHEN NEEDED.
9	REFINISH FLOOR.
10	REFINISH BOTTOM STAIR TREAD ON STAIRCASE.
11	REPAIR BROKEN WINDOW PANES, PATCH AND REFINISH PARTS OF THE PASSAGE DOORS.
12	REPAIR NEWEL POST CRACK.
13	REFINISH INTERIOR AND EXTERIOR OF DOOR, REFINISH THRESHOLD.
14	UNDERCUT EXISTING DOORS TO ALLOW FULL SWING OVER UNEVEN FLOOR.
15	REFINISH STAIRCASE BASEBOARDS.
16	REFINISH INTERIOR AND EXTERIOR OF DOOR, REFINISH THRESHOLD, REPLACE BOTTOM PANEL OF DOOR, REFINISH SCREEN DOOR.
17	REPLICATE HISTORIC WOOD DECORATIVE TRIM AND SILL CAP. MATCH TYPE, PROFILE AND DIMENSIONS OF THE EXISTING. V.I.F.
18	CENTER NEW SINK ON NEW WALL.
19	NEW EXTERIOR LANDING AND STAIRS. ALL CONCEALED STRINGERS/SUBFRAMING ARE TO BE CONSTRUCTED OF TREATED WOOD. PAINT EXPOSED SURFACES OF NEW STEPS WITH PAINT AND MIXTURE TO CREATE NON-SLIP SURFACE. ALL EXPOSED VISIBLE COMPONENTS TO BE CONSTRUCTED OF CLEAR REDWOOD.
20	NEW EXTERIOR LANDING AND STAIRS. ALL CONCEALED STRINGERS/SUBFRAMING ARE TO BE CONSTRUCTED OF TREATED WOOD. PAINT EXPOSED SURFACES OF NEW STEPS WITH PAINT AND MIXTURE TO CREATE NON-SLIP SURFACE. ALL EXPOSED VISIBLE COMPONENTS TO BE CONSTRUCTED OF CLEAR REDWOOD.
21	FILL CRACKED WOOD. REFER TO 6A/AF103.3 FOR IMAGE.
22	CLEAN REMOVED STAIR TREADS BEFORE REINSTALLATION.
23	PLASTER WALL REPAIR.
24	NEW WOOD TRIM TO MATCH PROFILE, STYLE AND DIMENSIONS OF EXISTING WOOD TRIM.
25	REPAIR PLASTER. REFER TO 2A/AF104.3 FOR IMAGE.
26	EXISTING FRAME TO REMAIN WITH NEW DOOR AND HARDWARE.
27	REINSTALL EXISTING WOOD PANELING.
28	NEW WOOD PANELING TO MATCH EXISTING PROFILE, STYLE, AND DIMENSIONS.
29	REPAIR DOOR FRAME. IF NEEDED MATCH WITH LIKE DIMENSIONS WOOD. REFER TO 1A/AF103.3 FOR IMAGE.
30	REPAIR DOOR FRAME. IF NEEDED MATCH WITH LIKE DIMENSIONS WOOD. REFER TO 1B/AF103.3 FOR IMAGE.
31	STRIP PAINT FROM STEPS AND STRINGERS AND RESEAL. REFER TO 1D/AF103.3 FOR IMAGE.
32	REPAIR PLASTER WALL. REFER TO 2A/AF103.3 FOR IMAGE.
33	REPAIR PLASTER WALL. REFER TO 2B/AF103.3 FOR IMAGE.
34	STRIP AND REPAIR WINDOW AS NEEDED. REFER TO 2D/AF103.3 FOR IMAGE.
35	REPAIR NEWEL POST. REFER TO 3A/AF103.3 FOR IMAGE.
36	RETAIN HISTORIC WALL COVERING AND PROTECTION AROUND IT. REFER TO 3B/AF103.3 FOR IMAGE.
37	RETAIN HISTORIC WALL COVERING AND PROTECTION AROUND IT. REFER TO 3D/AF103.3 FOR IMAGE.
38	REPAIR PLASTER CEILING. REFER TO 4A/AF103.3 FOR IMAGE.
39	REPAIR PEELING AND CRACKED WINDOW TRIM. REFER TO 4B/AF103.3 FOR IMAGE.
40	REPAIR PEELING AND CRACKED WINDOW AND WINDOW TRIM. REFER TO 4C/AF103.3 FOR IMAGE.
41	REPAIR CRACKED WINDOW TRIM. REFER TO 4D/AF103.3 FOR IMAGE.
42	REPAIR WINDOW FRAME. REFER TO 5A/AF103.3 FOR IMAGE.
43	REPAIR FLOOR PATCH IN. REFER TO 5B/AF103.3 FOR IMAGE.
44	REPAIR PLASTER. REFER TO 5C/AF103.3 FOR IMAGE.
45	REPAIR REFER TO 1A/AF104.3 FOR IMAGE.
46	SAND BOTTOM OF DOOR TO STOP IT FROM CATCHING ON FLOOR. REFER TO 1B/AF104.3 FOR IMAGE.
47	REPAINT FLOOR. REFER TO 1D/AF104.3 FOR IMAGE.
48	REPLACE EXISTING PLYWOOD TO MATCH EXISTING DIMENSIONS AND STYLE. PAINT FINISH TO BE COORDINATED WITH ARCHITECT. REPLACE GLASS WITH NEW MECHANICAL LOUVER. COORDINATE WITH M-SERIES DWGS.
49	REPLACE TOP WYTHE WITH SIMILAR BRICK TYPE AND SIZE REGROUT BRICK.
50	REPLACE WITH NEW PLYWOOD TO MATCH EXISTING DIMENSIONS AND STYLE. PAINT FINISH TO BE COORDINATED WITH ARCHITECT.
51	CLEAN EXPOSED WALL AND REPAIR PLASTER AS REQUIRED TO PREPARE WALL FOR NEW FINISH.
52	UNDERCUT EXISTING DOOR 3/4" AFF TO ALLOW AIR MOVEMENT.
53	NEW EXTERIOR CONCRETE. REFER TO C-SERIES DRAWINGS FOR SCOPE.

**General Plan Notes**

A. All quantities and locations of work noted below are to be reviewed and verified with the Architect in Field.

B. Refer to mechanical, electrical, and plumbing drawings for M/E/P work.

C. Refer to the room finish schedules for all interior finishes.

D. Repair all cracks, spalls, and moisture damage to the existing plaster walls.

E. Repair all cracks, spalls, and moisture damage to the existing plaster ceilings.

F. Seal all joints between dissimilar materials.

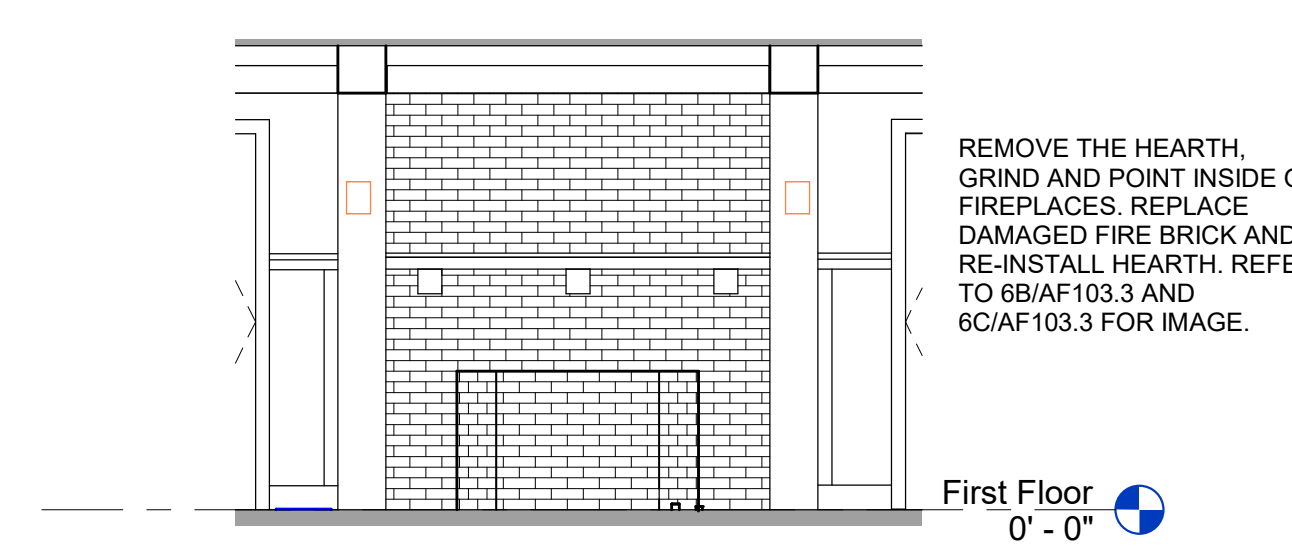
G. All gypsum wallboard is 5/8" Type "X", unless noted otherwise.

H. Where new floors meet existing floors, a smooth, straight, and flush transition shall be constructed. Verify in field existing floor elevations and conditions where a new floor shall be constructed adjacent. Trim and patch existing floor as required to achieve desired transition.

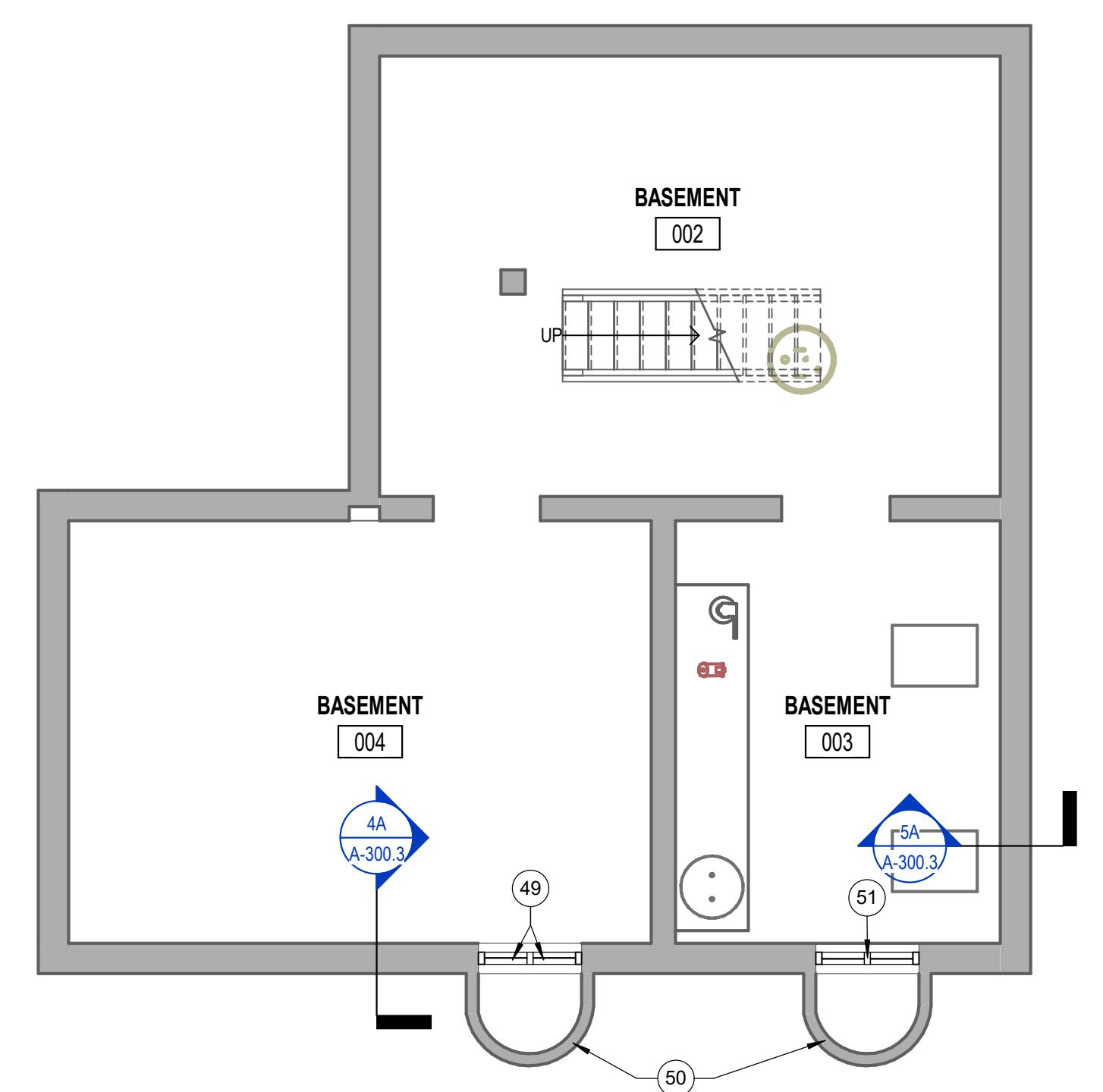
I. Contractor to remove all abandoned downspout hangers, abandoned electrical conduit and insulators, all storm window hardware, and all extraneous hangers, brackets, etc. From the exterior face of the building. Fill all nail/screw holes and finish to match adjacent surfaces.

J. Where existing siding, trim, plaster, etc. is being removed from the exterior walls of the house, provide and install new 4" fiberglass bat wall insulation only where existing wall insulation is lost or damaged.

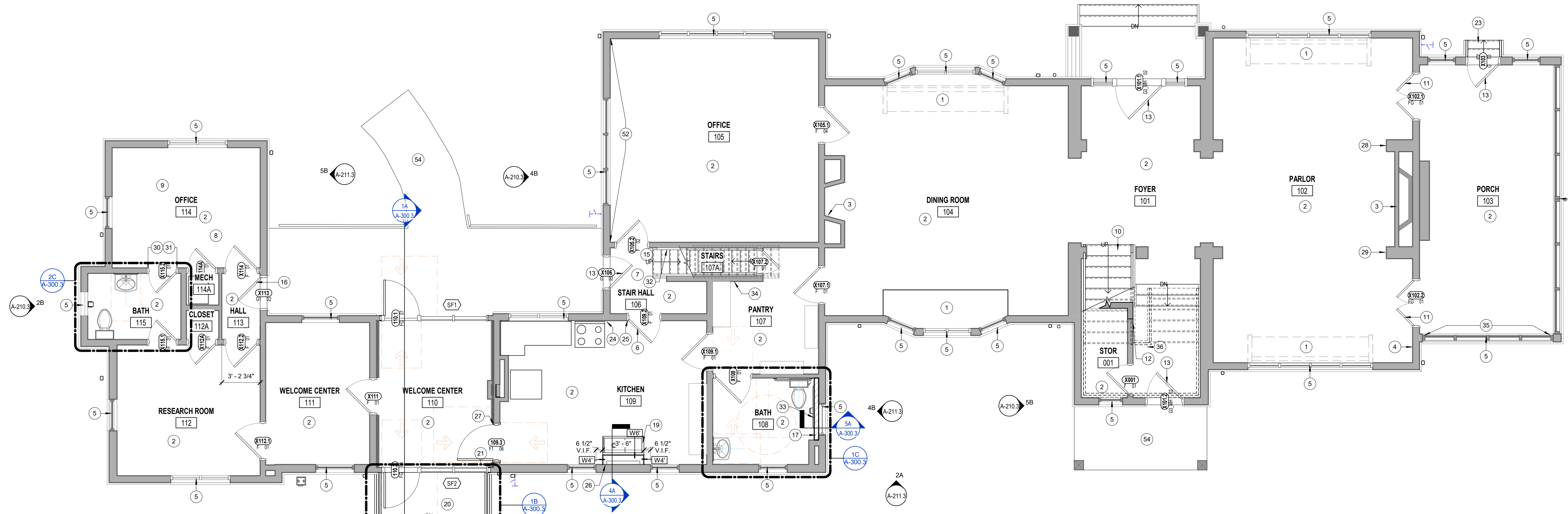
K. ALL NEW EXTERIOR WOOD SIDING, BATTENS, TRIM, AND OTHER VISIBLE EXTERIOR WOOD COMPONENTS ARE TO MATCH THE PROFILE, SIZE, AND DIMENSION OF THE EXISTING.



**3E INTERIOR FIREPLACE SCOPE**  
1/4" = 1'-0"



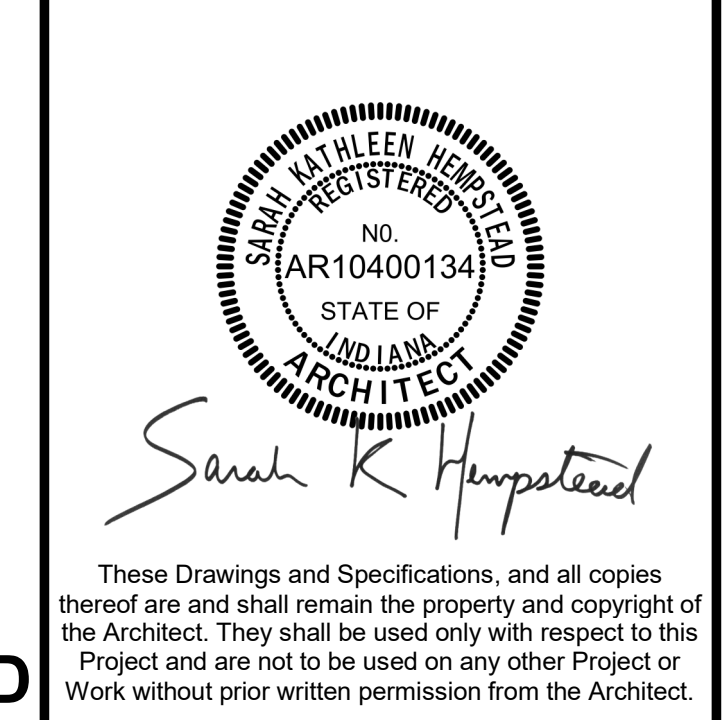
**4C BASEMENT FLOOR PLAN**  
1/4" = 1'-0"



**1A FIRST FLOOR PLAN**  
1/4" = 1'-0"



Project No. 2021-036.GAH  
Project Date 01.08.2026  
Produced MEW TM



#	Revision	Date

3705 IN SR 16  
Brook, IN 47922

**NEWTON COUNTY BOARD OF COMMISSIONERS**

**HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3**

FIRST FLOOR AND BASEMENT PLANS

AF101.3

SHEET 1 OF 10 FIRST FLOOR AND BASEMENT PLANS  
 DRAWING NUMBER: AF101.3  
 PROJECT: HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3  
 DATE: 01.08.2026  
 DRAWN BY: MEW  
 CHECKED BY: MEW  
 APPROVED BY: MEW



E

REMOVE THE HEARTH, GRIND AND POINT INSIDE OF FIREPLACES, CLEAN IN AND OUT OF BOTH FIREPLACES, AND REINSTALL HEARTH.



6C REFERENCE IMAGE  
1 1/2" = 1'-0"

REPAIR PLASTER.



5C REFERENCE IMAGE  
1 1/2" = 1'-0"

REPAIR CRACKED WINDOW TRIM.



4D REFERENCE IMAGE  
1 1/2" = 1'-0"

RETAIN HISTORIC WALL COVERING AND PROTECTION AROUND IT.



3D REFERENCE IMAGE  
1 1/2" = 1'-0"

STRIP AND REPAIR WINDOWS AS NEEDED.



2D REFERENCE IMAGE  
1 1/2" = 1'-0"

STRIP PAINT FROM STEPS AND STRINGERS AND RESEAL.



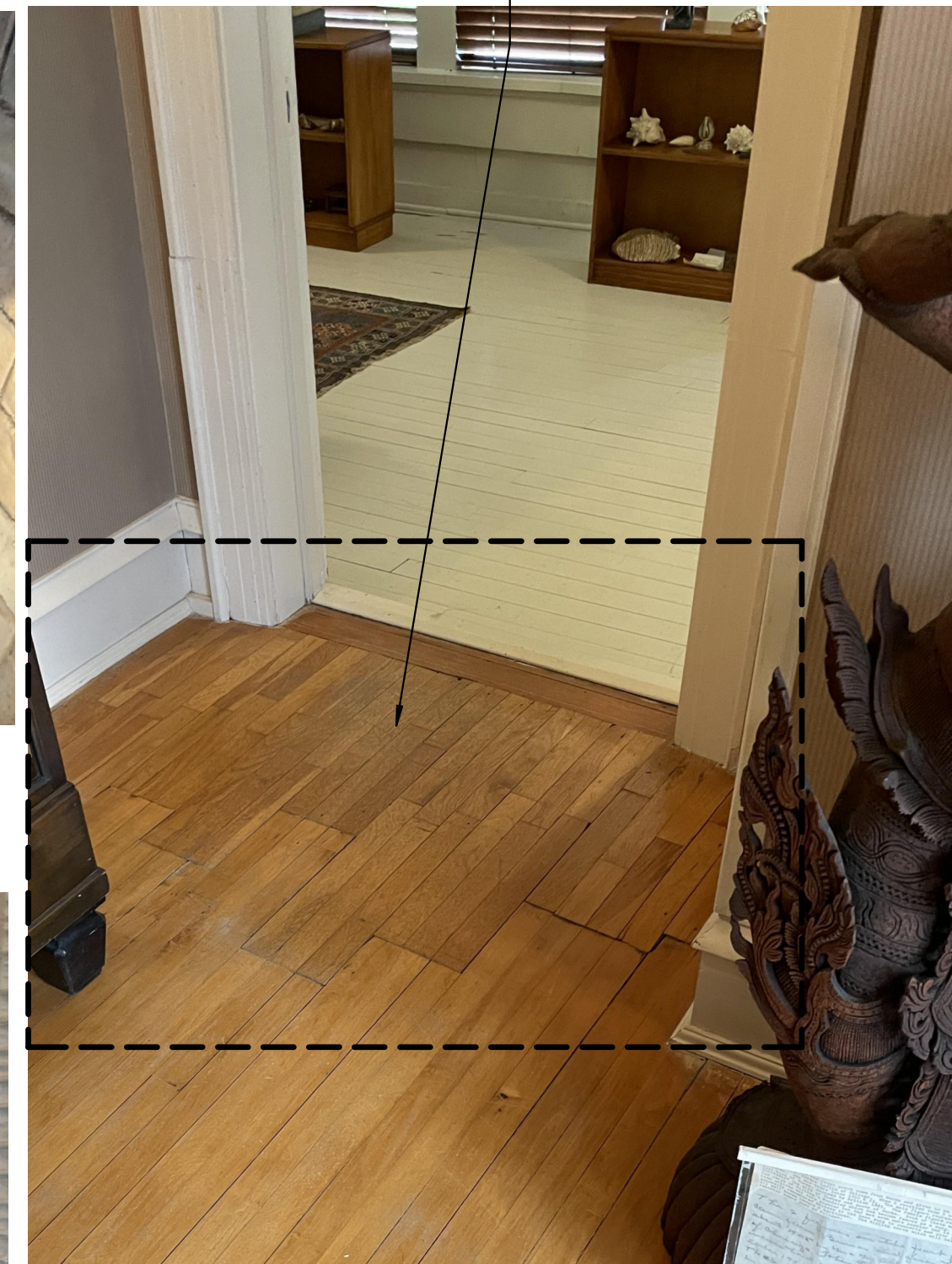
1D REFERENCE IMAGE  
1 1/2" = 1'-0"

REPLACE DAMAGED FIRE BRICK, GRIND AND POINT INSIDE OF FIREPLACE.



6B REFERENCE IMAGE  
1 1/2" = 1'-0"

REPAIR FLOOR PATCH.



5B REFERENCE IMAGE  
1 1/2" = 1'-0"

REPAIR PEELING AND CRACKED WINDOW AND WINDOW TRIM.



4C REFERENCE IMAGE  
1 1/2" = 1'-0"

RETAIN HISTORIC WALL COVERING AND PROTECTION AROUND IT.



3B REFERENCE IMAGE  
1 1/2" = 1'-0"

REPAIR PLASTER WALL.



2B REFERENCE IMAGE  
1 1/2" = 1'-0"

REPAIR DOOR AND DOOR FRAME, IF NEEDED MATCH WITH LIKE DIMENSIONS WOOD.



1B REFERENCE IMAGE  
1 1/2" = 1'-0"

FILL CRACKED WOOD.



6A REFERENCE IMAGE  
1 1/2" = 1'-0"

REPAIR WINDOW FRAME.



5A REFERENCE IMAGE  
1 1/2" = 1'-0"

REPAIR PEELING AND CRACKED WINDOW TRIM.



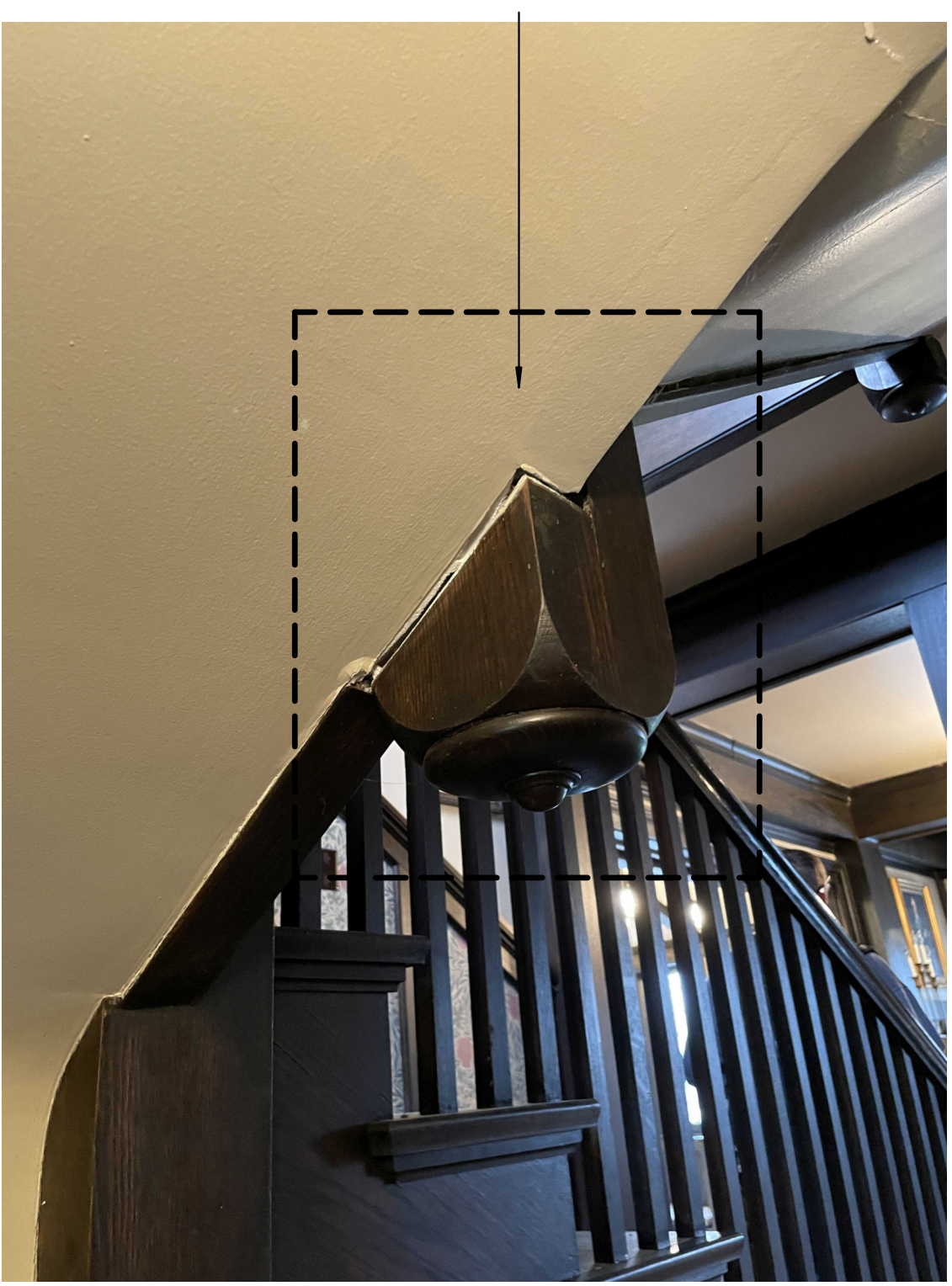
4B REFERENCE IMAGE  
1 1/2" = 1'-0"

REPAIR PLASTER CEILING.



4A REFERENCE IMAGE  
1 1/2" = 1'-0"

REPAIR NEWEL POST.



3A REFERENCE IMAGE  
1 1/2" = 1'-0"

REPAIR PLASTER WALL.



2A REFERENCE IMAGE  
1 1/2" = 1'-0"

REPAIR DOOR FRAME, IF NEEDED MATCH WITH LIKE DIMENSIONS WOOD.



1A REFERENCE IMAGE  
1 1/2" = 1'-0"

**SCHMIDT ASSOCIATES**  
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415 Massachusetts Ave., Indianapolis, IN 46204  
731 Brent St. #203, Louisville, KY 40204

Project No. 2021-036.GAH  
Project Date 01.08.2026  
Produced MEW TM

Sarah K. Hempstead

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#	Revision	Date

3705 IN SR 16  
Brook, IN 47922

NEWTON COUNTY BOARD OF COMMISSIONERS

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

INTERIOR DETAILS

AF103.3

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3 - INTERIOR DETAILS - AF103.3  
DATE: 01/08/2026  
DRAWING: INTERIOR DETAILS - HOUSE RESTORATION - BID PACKAGE 3 - INTERIOR DETAILS - AF103.3  
SCALE: AS SHOWN  
SHEET: 10 OF 10

6

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 415 Massachusetts Ave., Indianapolis, IN 46204  
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**NEWTON COUNTY BOARD OF COMMISSIONERS**

**HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3**

INTERIOR DETAILS

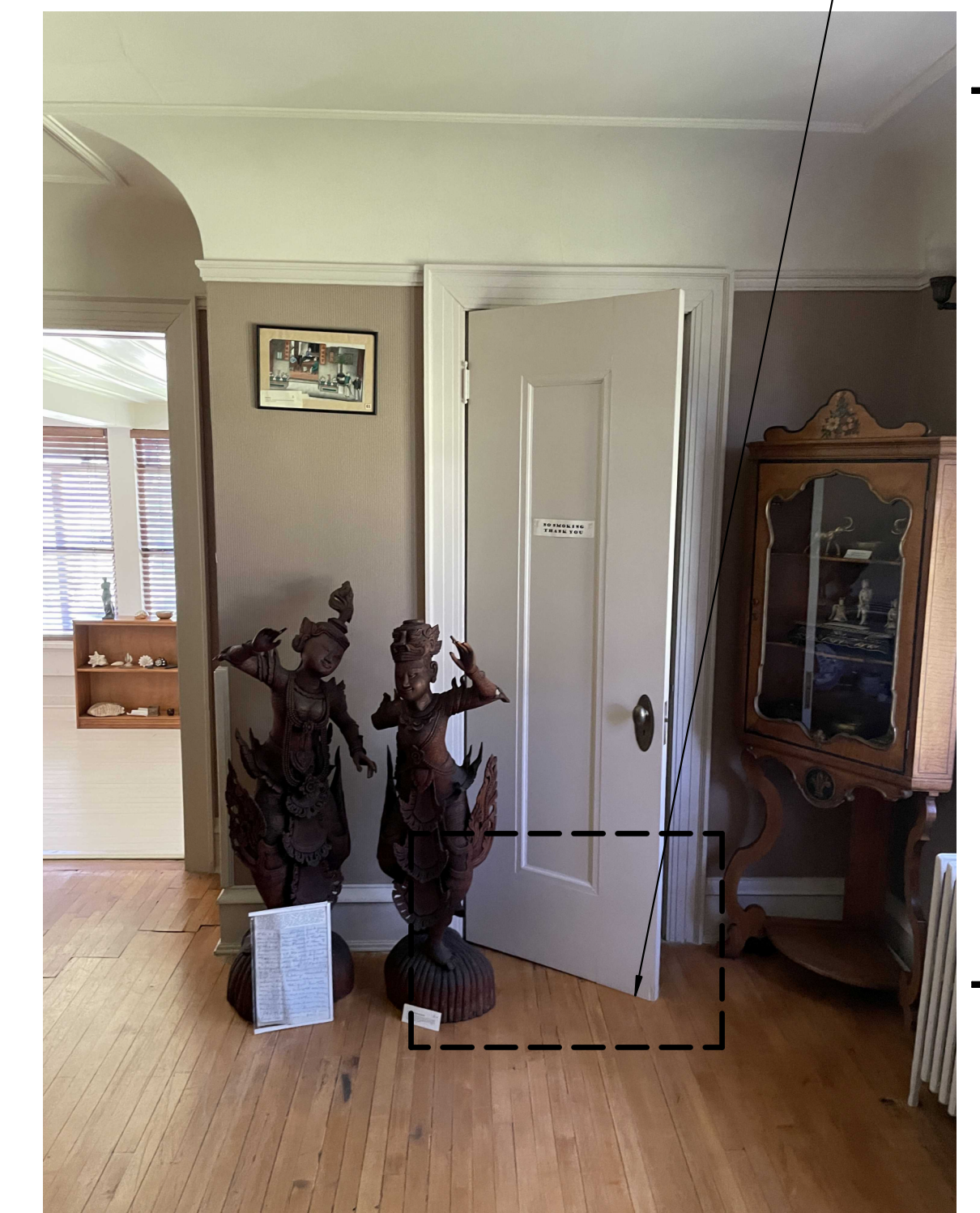
AF104.3

STRIP FLOOR AND REPAINT.



**1D REFERENCE IMAGE**  
 1 1/2" = 1'-0"

SAND BOTTOM OF DOOR TO STOP IT FROM CATCHING ON FLOOR.



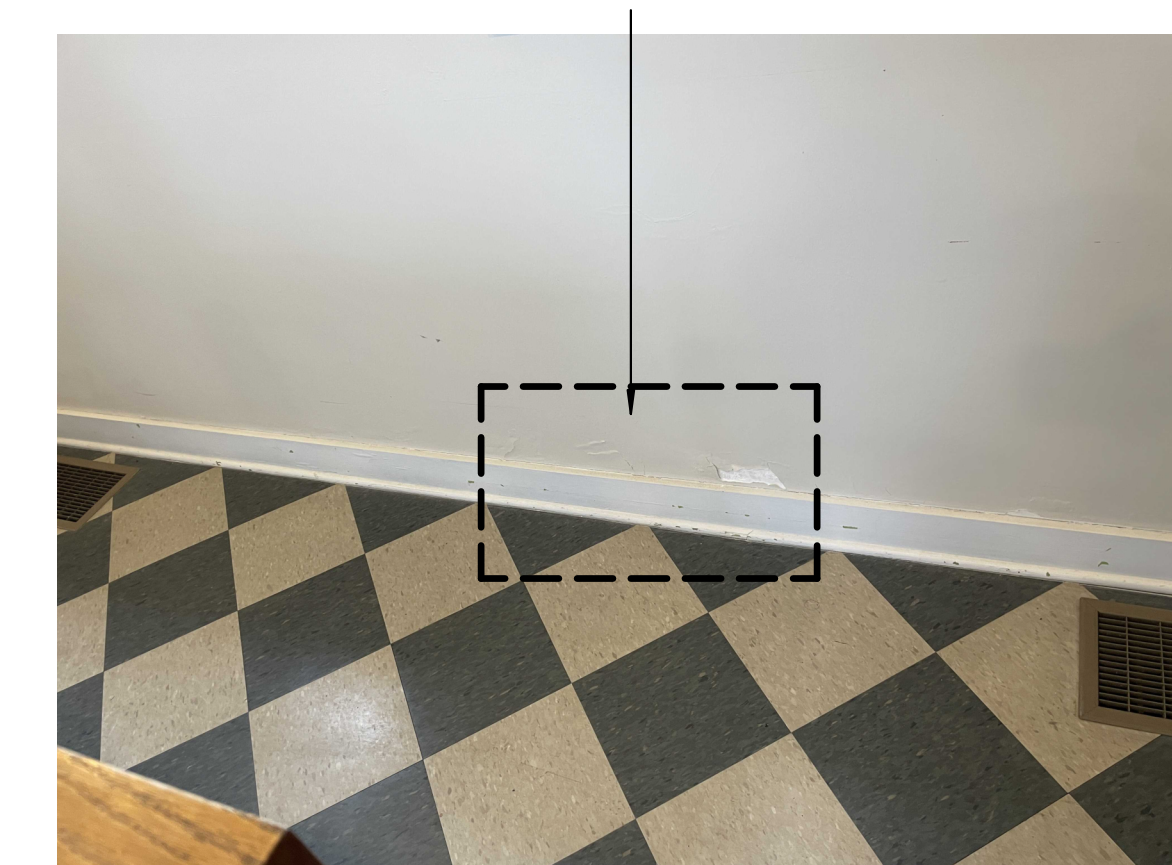
**1B REFERENCE IMAGE**  
 1 1/2" = 1'-0"

REPAIR.



**1A REFERENCE IMAGE**  
 1 1/2" = 1'-0"

REPAIR PLASTER.



**2A REFERENCE IMAGE**  
 1 1/2" = 1'-0"

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3  
 INTERIOR DETAILS  
 AF104.3  
 01.08.2026  
 MEW TM

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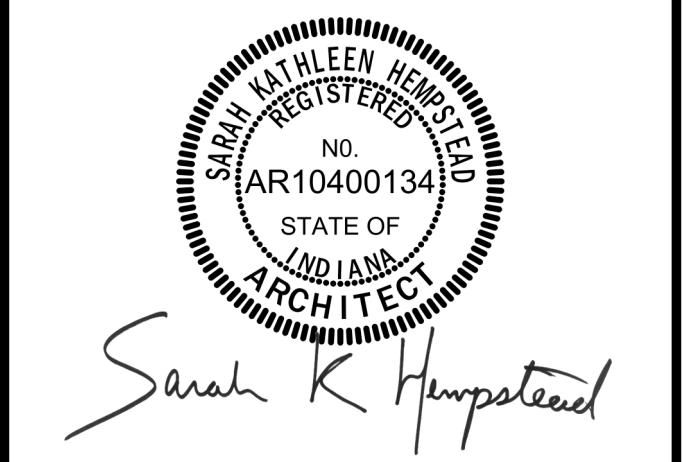
E  
D  
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REFLECTED CEILING PLAN LEGEND			
PL	PLASTER LATH (09 51 13)		LIGHT FIXTURE (REFERENCE E-SERIES DWGS)
EPL	EXISTING PLASTER LATH (09 22 16)		RETURN AIR (REFERENCE M-SERIES DWGS)
EPL	EXISTING BEAD BOARD (09 22 16)		SUPPLY AIR (REFERENCE M-SERIES DWGS)
EBB	EXISTING BOARD AND BATTON (09 22 16)		EXIT LIGHT (REFERENCE E-SERIES DWGS)
			RECESSED LIGHT FIXTURE SUSPENDED FIXTURE IN AREAS WITH EXPOSED CEILINGS (REFERENCE E- SERIES DWGS)
			SOUND SYSTEM SPEAKER (REFERENCE E-SERIES/T- SERIES DWGS)

REFLECTED CEILING PLAN NOTES	
#	NOTE
1	REPAIR ALL EXISTING CRACKS, SPALLS AND MOISTURE DAMAGE TO THE EXISTING PLASTER CEILINGS PREPARE TO RECEIVE NEW FINISH. REFER TO I-SERIES DRAWINGS.
2	FIX CEILING DAMAGE AND REPLACE EXISTING PLASTER LATH.
3	REFERENCE SPECIFICATION SECTION 012300 FOR SCOPE OF WORK.
4	CEILING TO BE PAINTED TO MATCH THE WALL COLOR. REFER TO I-SERIES DWGS FOR SCOPE.
4	NO CEILING WORK.
5	SOFFIT TO BE PAINTED TO MATCH EXTERIOR WOOD PAINT.



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Project Date 01.08.2026  
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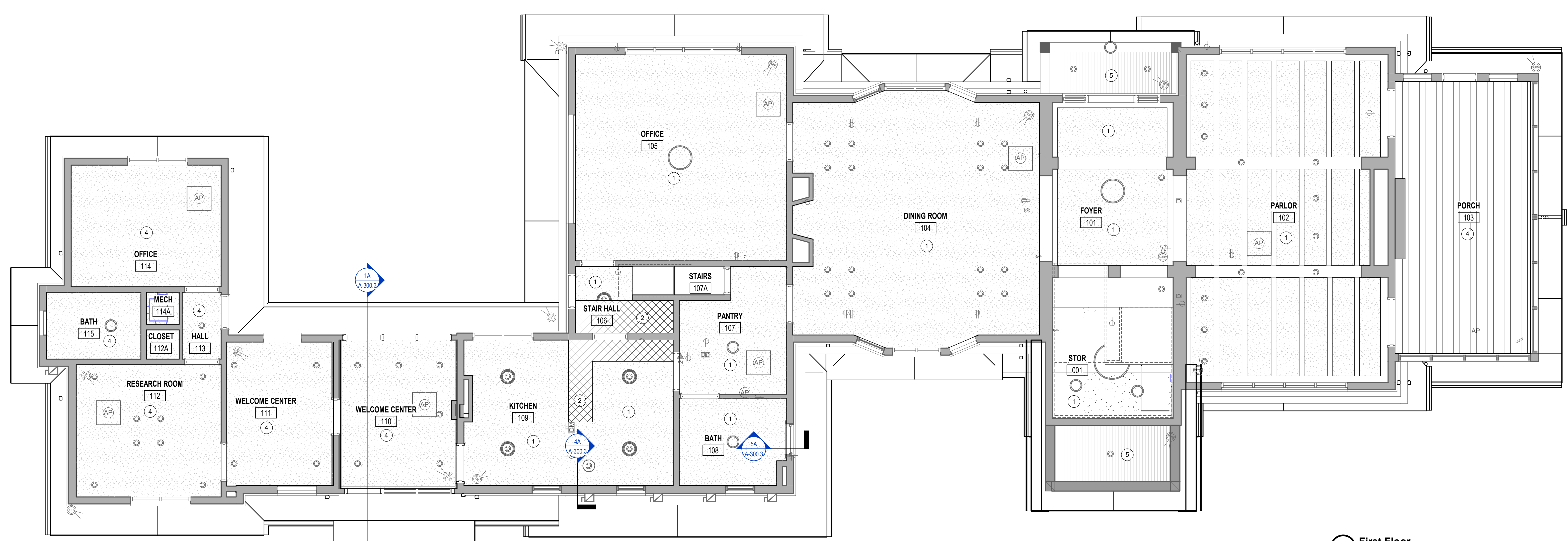
#	Revision	Date

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HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

FIRST FLOOR REFLECTED CEILING PLAN  
AC101.3



1A First Floor  
1/4" = 1'-0"

6 5 4 3 2 1

NOTES:  
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B (NEC) CODES.  
2. REFER TO THE PROJECT MANUAL FOR A COMPLETE LIST OF MATERIALS, FINISHES, AND EQUIPMENT.  
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B (NEC) CODES.  
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B (NEC) CODES.  
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70B (NEC) CODES.

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### REFLECTED CEILING PLAN LEGEND

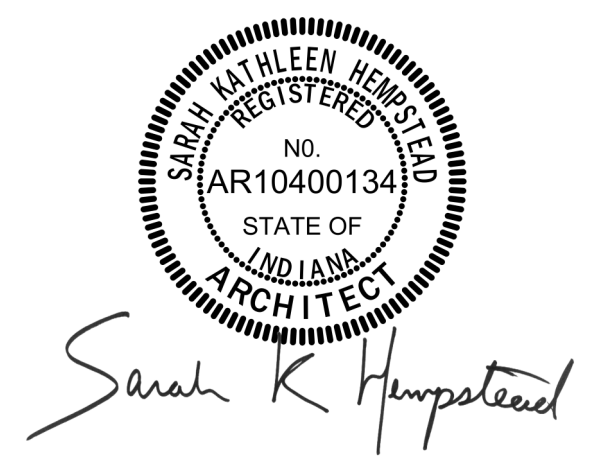
PL	PLASTER LATH (09 51 13)		LIGHT FIXTURE (REFERENCE E-SERIES DWGS)	
EPL	EXISTING PLASTER LATH (09 22 16)		RETURN AIR (REFERENCE M-SERIES DWGS)	
EPL	EXISTING BEAD BOARD (09 22 16)		SUPPLY AIR (REFERENCE M-SERIES DWGS)	
EBB	EXISTING BOARD AND BATTON (09 22 16)		EXIT LIGHT (REFERENCE E-SERIES DWGS)	
			RECESSED LIGHT FIXTURE SUSPENDED FIXTURE IN AREAS WITH EXPOSED CEILINGS (REFERENCE E- SERIES DWGS)	
			SOUND SYSTEM SPEAKER (REFERENCE E-SERIES/T- SERIES DWGS)	

### REFLECTED CEILING PLAN NOTES

- # NOTE
- REPAIR ALL EXISTING CRACKS, SPALLS AND MOISTURE DAMAGE TO THE EXISTING PLASTER CEILINGS PREPARE TO RECEIVE NEW FINISH, REFER TO I-SERIES DRAWINGS.
  - FIX CEILING DAMAGE AND REPLACE EXISTING PLASTER LATH
  - REFERENCE SPECIFICATION SECTION 012300 FOR SCOPE OF WORK
  - CEILING TO BE PAINTED TO MATCH THE WALL COLOR, REFER TO I-SERIES DWGS FOR SCOPE.
  - NO CEILING WORK
  - SOFFIT TO BE PAINTED TO MATCH EXTERIOR WOOD PAINT.



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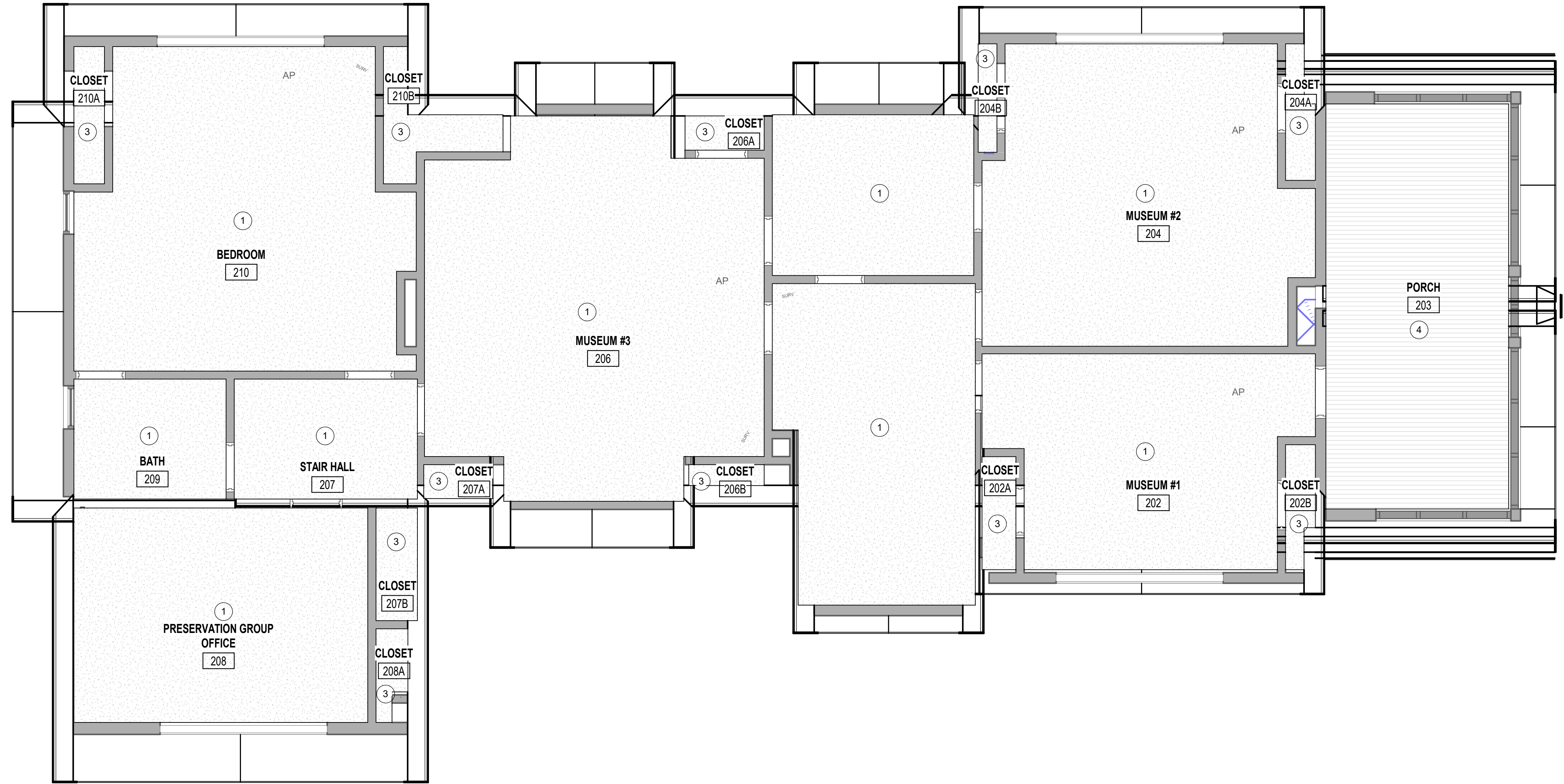
#	Revision	Date

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HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

SECOND FLOOR REFLECTED CEILING PLAN  
AC102.3



1A Second Floor  
1/4" = 1'-0"

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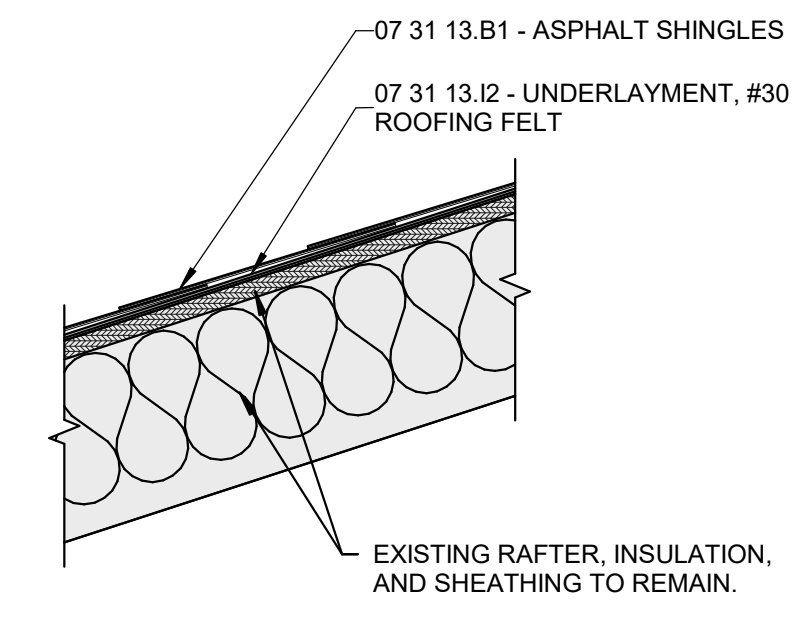
2

1

ARCHITECT: SCHMIDT ASSOCIATES  
 PROJECT: HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3  
 DRAWING: SECOND FLOOR REFLECTED CEILING PLAN  
 DATE: 01.08.2026  
 SHEET: AC102.3

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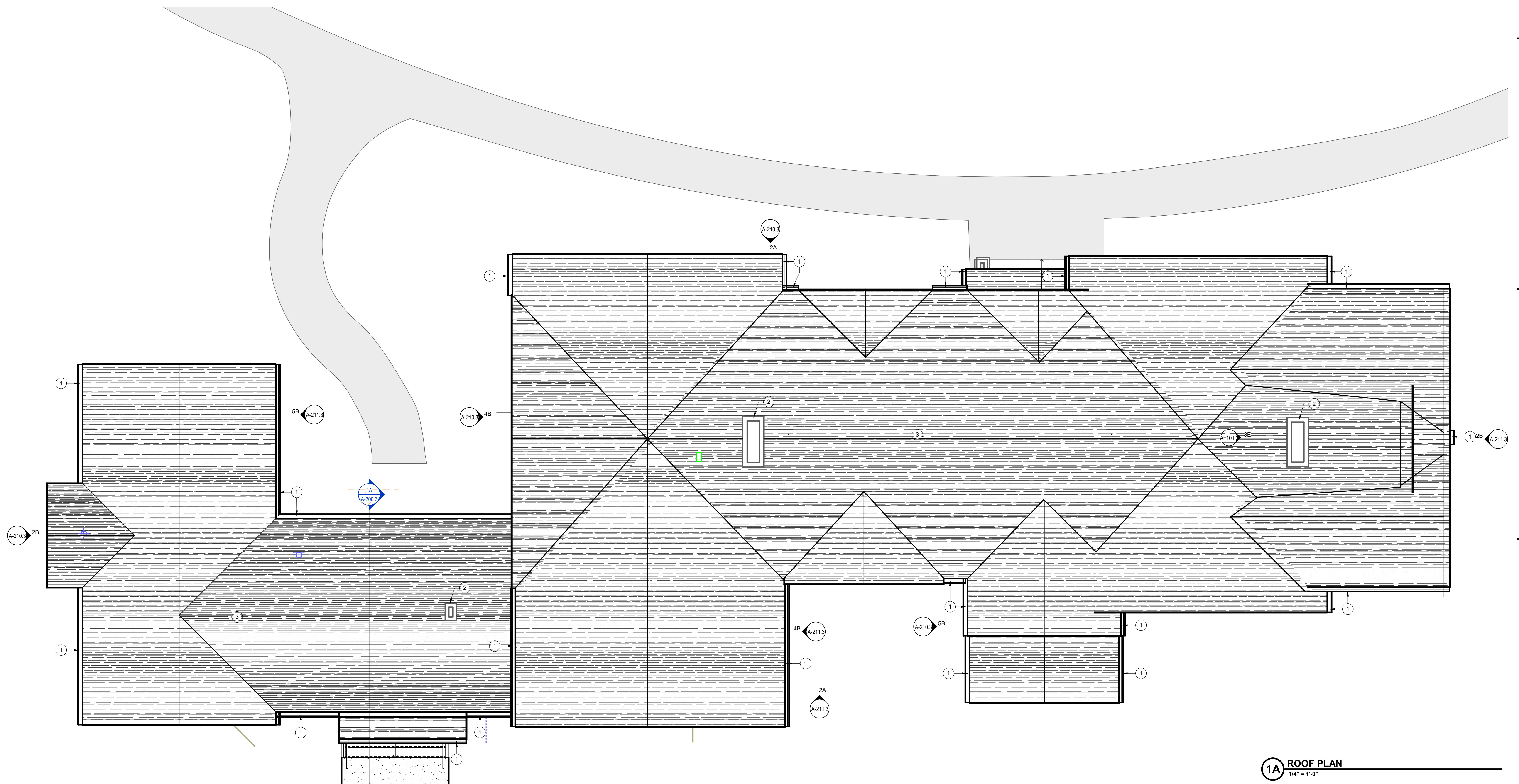
**General Roof Plan Notes**

A. Roof penetrations and equipment shown shall not be considered all inclusive. Coordinate with Mechanical, Plumbing and Electrical Documents to confirm penetrations and equipment locations. Flash all roof penetrations in accordance with roofing manufacturer's recommendations. Provide crickets to allow for proper drainage around units.

B. Configuration/routing of new downspouts to approximately match the existing. Verify the exact configuration/routing of the new downspouts in the field with the Architect prior to fabrication. Provide new concrete splash blocks at downspout locations without splash blocks.

**2E ROOF TYPE - SH**  
1 1/2" = 1'-0"

#	Note
1	NEW GUTTER. MATCH THE LOCATION, PROFILE, AND DIMENSIONS OF THE EXISTING GUTTERS.
2	EXTERIOR CHIMNEY REPAIR ALTERNATE: SEE SPECIFICATION "SECTION 012300-ALTERNATES"
3	ROOF REPLACEMENT ALTERNATE: SEE SPECIFICATION "SECTION 012300-ALTERNATES"



**1A ROOF PLAN**  
1/4" = 1'-0"

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**HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3**

ROOF PLAN  
**AR100.3**

SCALE: 1/4" = 1'-0"  
DATE: 01.08.2026  
PROJECT: HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3  
DRAWING: ROOF PLAN  
DRAWING NO: AR100.3