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Abbreviations			
A/E	ARCHITECT/ENGINEER	MB	MARKER BOARD
ADA	AMERICANS WITH DISABILITIES ACT	MC	MECHANICAL CONTRACTOR
ADD	ADDENDUM	MDO	MEDIUM DENSITY OVERLAY
ADJ	ADJACENT	MED	MECHANICAL
ADMIN	ADMINISTRATION	MED	MEDIUM
AFF	ABOVE FINISHED FLOOR	MEMB	MEMBRANE
ALUM	ALUMINUM	MEP	MECHANICAL, ELECTRICAL, PLUMBING
APPROX	APPROXIMATE	MEZZ	MEZZANINE
APC	ACOUSTICAL PANEL CEILING	MFD	MANUFACTURED
APT	APARTMENT	MFG	MANUFACTURING
ARCH	ARCHITECT	MFR	MANUFACTURER
ASSN	ASSOCIATION	MGMT	MANAGEMENT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MIN	MINIMUM
AV	AUDIOVISUAL	MISC	MISCELLANEOUS
AVG	AVERAGE	ML	METAL LATH
AWI	ARCHITECTURAL WOODWORKING INSTITUTE	MO	MASONRY OPENING
		MT	MOUNT
BD	BOARD	MTD	MOUNTED
BITUM	BITUMINOUS	MTG	MOUNTING
BLDG	BUILDING	MTL	METAL
BLKHD	BULKHEAD	MULL	MULLION
BOT	BOTTOM		
BSMT	BASEMENT	NA	NOT APPLICABLE
		NIC	NOT IN CONTRACT
CAB	CABINET	NO	NUMBER
CB	CHALK BOARD	NOM	NOMINAL
CD	CONSTRUCTION DOCUMENTS	NTS	NOT TO SCALE
CD	CONTRACT DOCUMENTS		
CIP	CAST-IN-PLACE	O/O	OUT TO OUT
CJ	CONTROL JOINT	OC	ON CENTER
CL	CENTER LINE	OD	OUTSIDE DIAMETER
CLG	CEILING	OPS	OPENING
CLO	CLOSET	OPP	OPPOSITE
CLR	CLEAR	ORIG	ORIGINAL
CMU	CONCRETE MASONRY UNIT	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
COL	COLUMN		
CONC	CONCRETE	PART	PARTIAL
CONF	CONFERENCE	PBD	PARTICLE BOARD
CONST	CONSTRUCTION	PERF	PERFORATED
COORD	COORDINATE	PKG	PACKAGE
CORR	CORRIDOR	PLAS LAM	PLASTIC LAMINATE
CPT	CARPET	PLYWD	PLYWOOD
CSI	CONSTRUCTION SPECIFICATIONS INSTITUTE	PNL	PANEL
CTR	CENTER	PORC	PORCELAIN
CU FT	CUBIC FEET	PR	PAIR
CU IN	CUBIC INCH	PREFAB	PREFABRICATED
CUST	CUSTOMER	PREFIN	PREFINISH
CW	CURTAIN WALL	PREP	PREPARATION
		PROJ	PROJECT
DBL	DOUBLE	PT	PAINT
DEFS	DIRECT-APPLIED FINISH SYSTEM		
DEG	DEGREE	R	RADIUS
DEMO	DEMOLITION	RCP	REFLECTED CEILING PLAN
DEPT	DEPARTMENT	RD	ROOF DRAIN
DET	DETAIL	REBAR	REINFORCING STEEL BARS
DF	DRINKING FOUNTAIN	RECP	RECEPTACLE
DH	DOUBLE HUNG (DOOR, WINDOW)	REF	REFERENCE
DIA	DIAMETER	REF	REFRIGERATOR
DIAG	DIAGONAL	REIN	REINFORCED
DM	DIMENSION	REQD	REQUIRED
DISP	DISPENSER	REST	RESTROOM
DN	DOWN	RM	ROOM
DN	DOWN	RO	ROUGH OPENING
DS	DOWN SPOUT	RTG	RATING
DWG	DRAWING	RTU	ROOF TOP UNIT
		SCHED	SCHEDULE
EA	EACH	SCHEM	SCHEMATIC
EC	ELECTRICAL CONTRACTOR	SCWD	SOLID CORE WOOD DOOR
EFS	EXTERIOR INSULATION AND FINISH SYSTEM	SECT	SECTION
EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)
ELEV	ELEVATION	SHR	SHOWER
ELEC	ELECTRIC	SHT	SHEET
ELEV	ELEVATOR	SIM	SIMILAR
EOS	EDGE OF SLAB	SM	SMALL
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	SPEC	SPECIFICATION
EQ	EQUAL	SPKLR	SPRINKLER
EQUIP	EQUIPMENT	SQ	SQUARE
EST	ESTIMATE	SQ YD	SQUARE YARD
ETC	ET CETERA	SS	STAINLESS STEEL
EXIST	EXISTING	ST	STREET
		STD	STANDARD
FD	FLOOR DRAIN	STL	STEEL
FE	FIRE EXTINGUISHER	STOR	STORAGE
FEC	FIRE EXTINGUISHER CABINET	STRUCT	STRUCTURAL
FIN	FINISH	SURR	SURROUND
FIN FLR	FINISH FLOOR	SUSP	SUSPEND
FIN GR	FINISH GRADE	SUSP CLG	SUSPENDED CEILING
FX	FIXTURE	SV	SHEET VINYL
FLASH	FLASHING	SVC	SERVICE
FLR	FLOOR	SYS	SYSTEM
FR	FIRE RESISTANT		
FRC	FIBER REINFORCED CONCRETE	T&G	TONGUE AND GROOVE
FRG	FIBER REINFORCED GYPSUM	T/O	TOP OF
FRP	FIBERGLASS REINFORCED PLASTIC	TB	TACK BOARD
FRZ	FREEZER	TD	TOWEL DISPENSER
FT	FEET, FOOT	TECH	TECHNICAL
FTG	FOOTING	TEMP	TEMPORARY
FJRG	FURRING	TFF	TOP OF FINISHED FLOOR
FURN	FURNITURE	TG	TEMPERED GLASS
FWC	FABRIC WALL COVERING	THK	THICKNESS
		THRU	THROUGH
GA	GAUGE	TI	TAPERED INSULATION
GAL	GALLON	TOS	TOP OF STEEL
GALV	GALVANIZED	TOM	TOP OF MASONRY
GC	GENERAL CONTRACTOR	TRANS	TRANSOM
GFRG	GLASS-FIBER-REINFORCED CONCRETE	TYP	TYPICAL
GFRG	GLASS-FIBER-REINFORCED GYPSUM		
GFRP	GLASS-FIBER-REINFORCED PLASTER	UL	UNDERWRITERS LABORATORIES
GL BLK	GLASS BLOCK	UNO	UNLESS NOTED OTHERWISE
GLU LAM	GLUE LAMINATED WOOD	UPS	UNINTERRUPTIBLE POWER SUPPLY
GOVT	GOVERNMENT	UTIL	UTILITY
GWB	GYPSUM WALLBOARD		
		VAR	VARIES
HAZ	HAZARD	VB	VINYL BASE
HAZ MAT	HAZARDOUS MATERIALS	VCT	VINYL COMPOSITION TILE
HDBD	HEAVY DUTY HARDBOARD	VEH	VEHICLE
HDW	HARDWARE	VERT	VERTICAL
HM	HOLLOW METAL	VEST	VESTIBULE
HORIZ	HORIZONTAL	VIF	VERIFY IN FIELD
HR	HOUR	VOL	VOLUME
HT	HEIGHT	VR	VAPOR RETARDER
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	VWC	VINYL WALL COVERING
		VWF	VINYL WALL FABRIC
IBC	INTERNATIONAL BUILDING CODE		
ID	INSIDE DIAMETER	W/	WITH
IN	INCH/ INCHES	W/O	WITHOUT
INSTR	INSTRUMENT	WC	WALL COVERING
INSUL	INSULATION, E. (ED)	WD	WOOD
INT	INTERIOR	WP	WORKING POINT
JAN	JANITOR	WT	WEIGHT
KD	KNOCK DOWN		
KIT	KITCHEN		
KO	KNOCKOUT		
LAM	LAMINATE		
LG	LAMINATED GLASS		
LAV	LAVATORY		
LED	LIGHT EMITTING DIODE		
LF	LINEAR FEET (FOOT)		
LKR RM	LOCKER ROOM		
LRG	LARGE		
LT	LIGHT		
LT GA	LIGHT GAUGE		
MAINT	MAINTENANCE		
MAN	MANUAL		
MATL	MATERIAL		
MAX	MAXIMUM		

General Roof Plan Notes

A. Roof penetrations and equipment shown shall not be considered all inclusive. Coordinate with Mechanical, Plumbing and Electrical Documents to confirm penetrations and equipment locations. Flash all roof penetrations in accordance with roofing manufacturer's recommendations. Provide crickets to allow for proper drainage around units.

B. Configuration/routing of new downspouts to approximately match the existing. Verify the exact configuration/routing of the new downspouts in the field with the Architect prior to fabrication. Provide new concrete splash blocks at downspout locations without splash blocks.

General Demolition Notes

A. Contractor shall field-verify all existing conditions, dimensions, and arrangements. Coordinate with Mechanical, Plumbing and Electrical Documents to confirm penetrations and equipment locations. Flash all roof penetrations in accordance with roofing manufacturer's recommendations. Provide crickets to allow for proper drainage around units.

B. Contractor is responsible for protection of all existing surfaces, materials, and components to remain or be relocated. Damage to these resulting from performance of Work shall be repaired by Contractor to satisfaction of Owner and Architect at no additional expense to Owner.

C. Contractor shall provide temporary dust protection as required to prevent construction debris and dust from migrating out of Project Area. Owner/Architect shall confirm all dust prevention measures/locations and shall determine changes to these measures.

D. All existing equipment and fixtures shall remain property of Owner. All reusable items salvaged during demolition operations shall be retained for Owner's inspection. Only items so inspected and rejected by Owner shall be disposed. All other such items shall be turned over to Owner for disposition.

E. All existing surfaces located adjacent to, or exposed by demolition work and scheduled to receive new construction shall be patched and repaired as required to cleanly receive new work.

F. All existing surfaces located adjacent to, or exposed by demolition work and scheduled to remain exposed after completion of new construction shall be repaired and patched as required to receive new finishes.

G. Owner will be responsible for removal/rearrangement of all existing loose furnishings during construction, unless noted otherwise.

H. Refer to Mech/Elec. Drawings for additional patching and preparation work related to M.E.P. demolition items.

I. Existing sleeves, holes, and other penetrations or new damage of existing building structure above grade exposed by demolition and removal of piping, appurtenances, equipment shall be patched and repaired as part of the Work. Maintain fire ratings of all and adjacent construction affected.

J. Cap all piping to remain or abandoned in accordance with requirements of authority having jurisdiction and in accordance with all local and state plumbing and health codes. Utilize only pre-manufactured and approved fittings to cap existing piping.

K. Coordinate all demolition with Project sequencing as directed by General Contractor or Construction Manager. Specific instances are noted but work is not limited to these instances. Owner has right of first refusal.

L. Remove all exterior holiday light strips and fix holes when needed.

M. Remove all exterior window screens with associated hardware and return to owner.

N. At all existing exterior wood, re-nail existing wood where loose. Re-position wood that has shifted from its original position and re-secure. Pull exterior wood tight where gapped from its adjacent piece.

O. Remove all hornets/bee nests from the exterior.

P. Strip and evaluate all facias to determined condition of wood. Inform architect of wood that may need to be replaced where its replacement has been noted in the drawings.

Q. Remove leaves from entire perimeter of building.

R. Remove window treatments and associated hardware in areas of work. Salvage and reinstall.

General Plan Notes

A. All quantities and locations of work noted below are to be reviewed and verified with the Architect in Field.

B. Refer to mechanical, electrical, and plumbing drawings for M/E/P work.

C. Refer to the room finish schedules for all interior finishes.

D. Repair all cracks, spalls, and moisture damage to the existing plaster walls.

E. Repair all cracks, spalls, and moisture damage to the existing plaster ceilings.

F. Seal all joints between dissimilar materials.

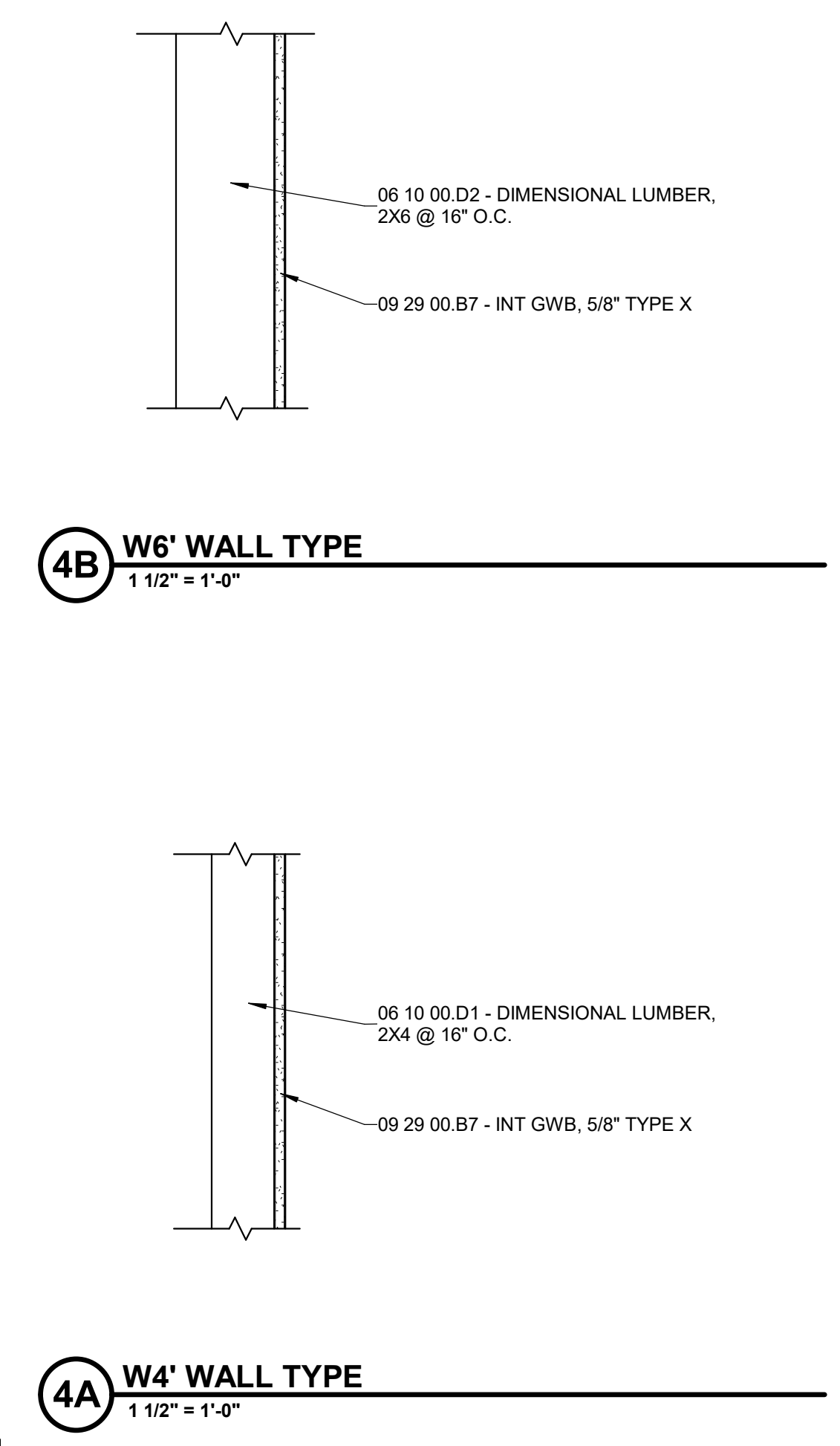
G. All gypsum wallboard is 5/8" Type "X", unless noted otherwise.

H. Where new floors meet existing floors, a smooth, straight, and flush transition shall be constructed. Verify in field existing floor elevations and conditions where a new floor shall be constructed adjacent. Trim and patch existing floor as required to achieve desired transition.

I. Contractor to remove all abandoned downspout hangers, abandoned electrical conduit and insulators, all storm window hardware, and all extraneous hangers, brackets, etc. From the exterior face of the building. Fill all nail/screw holes and finish to match adjacent surfaces.

J. Where existing siding, trim, plaster, etc. is being removed from the exterior walls of the house, provide and install new 4" fiberglass batt insulation only where existing wall insulation is lost or damaged.

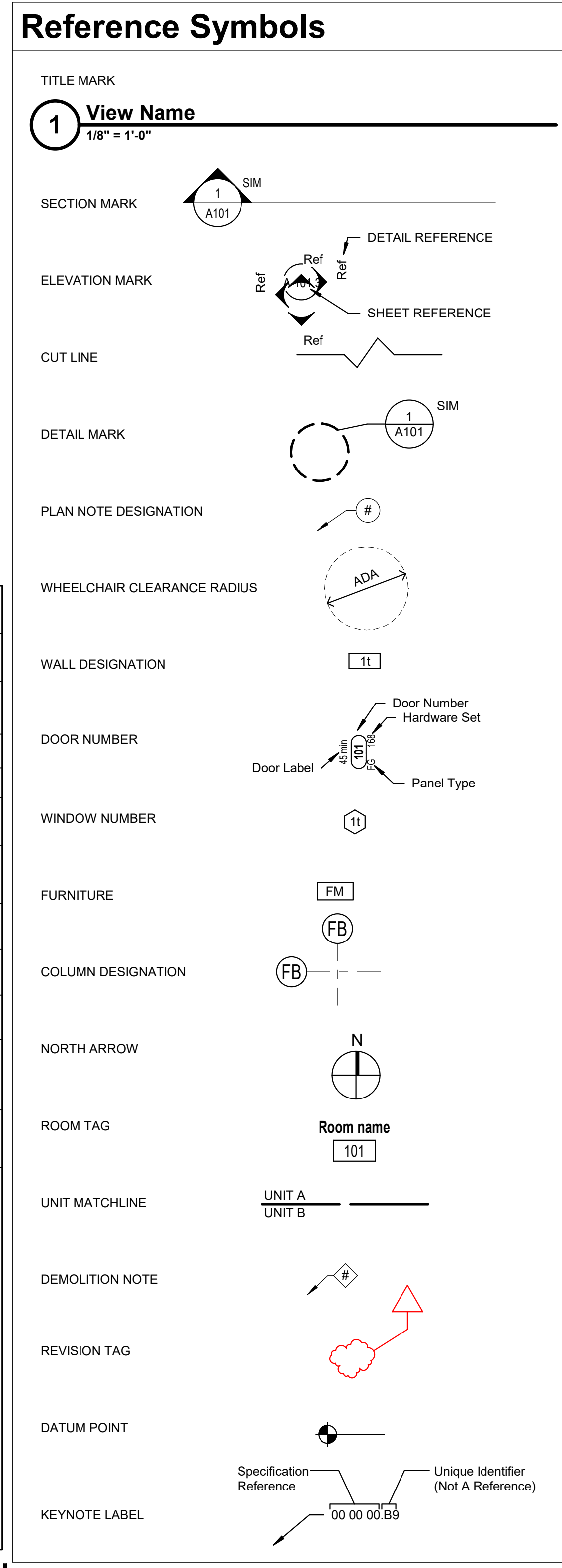
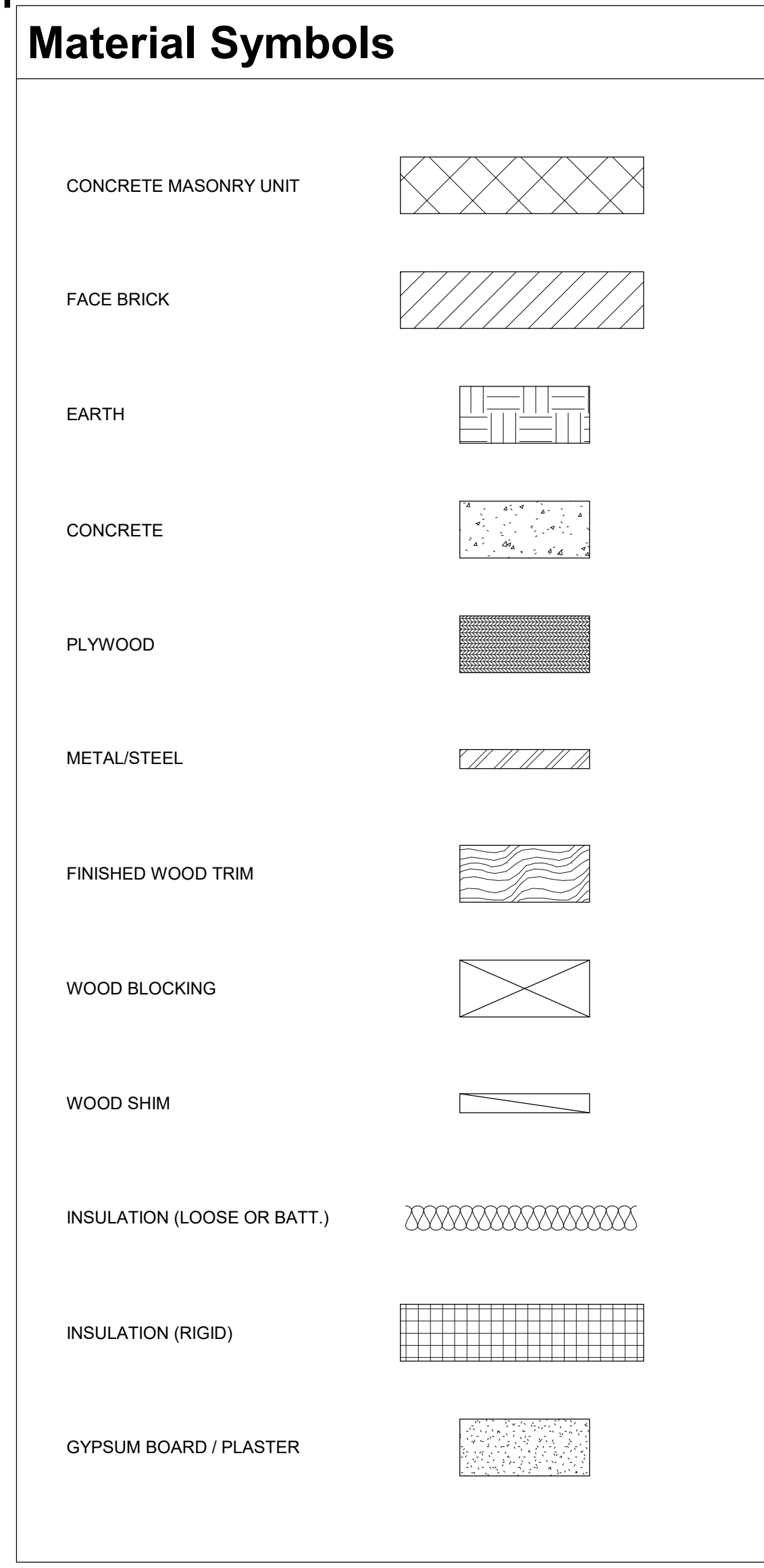
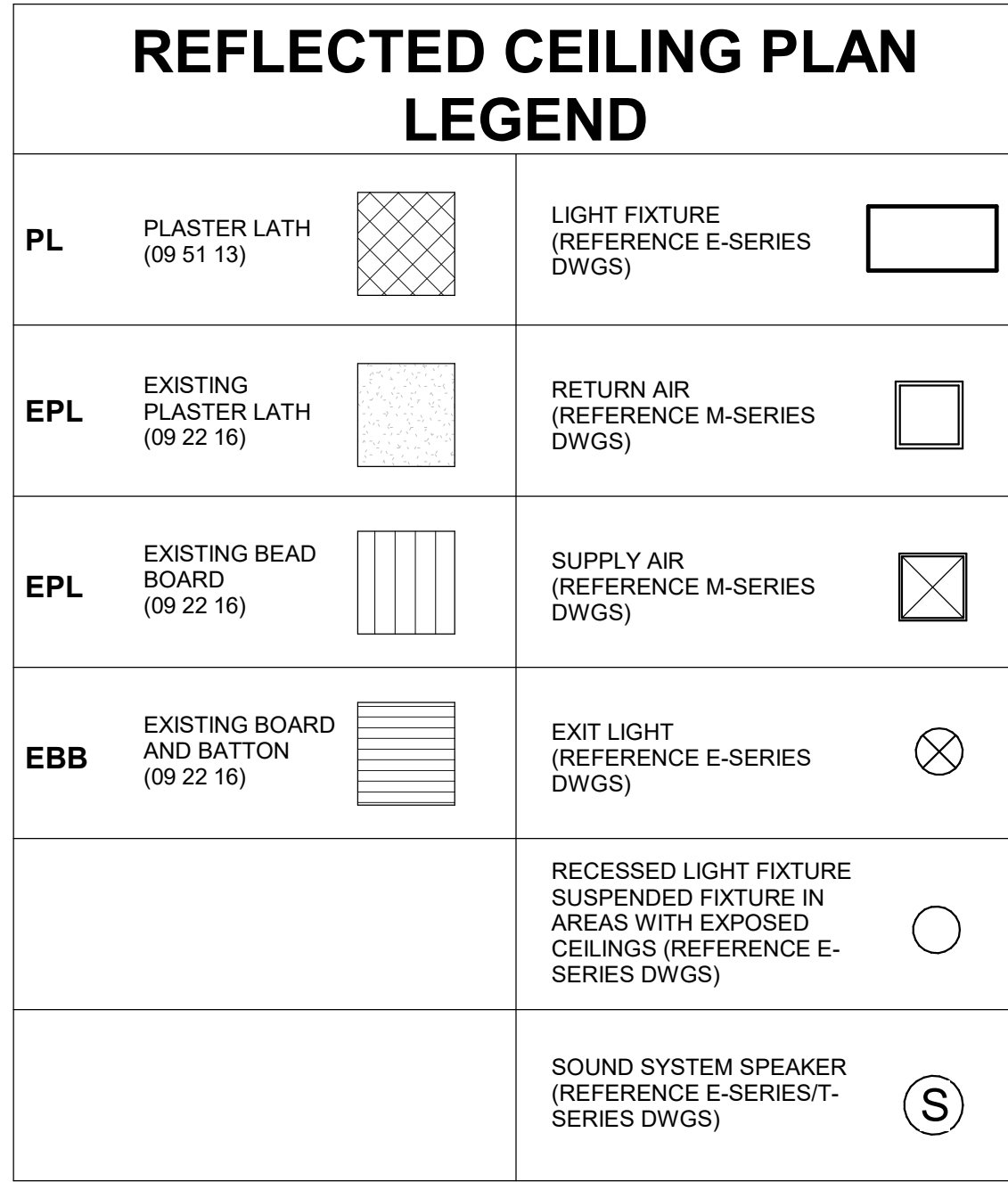
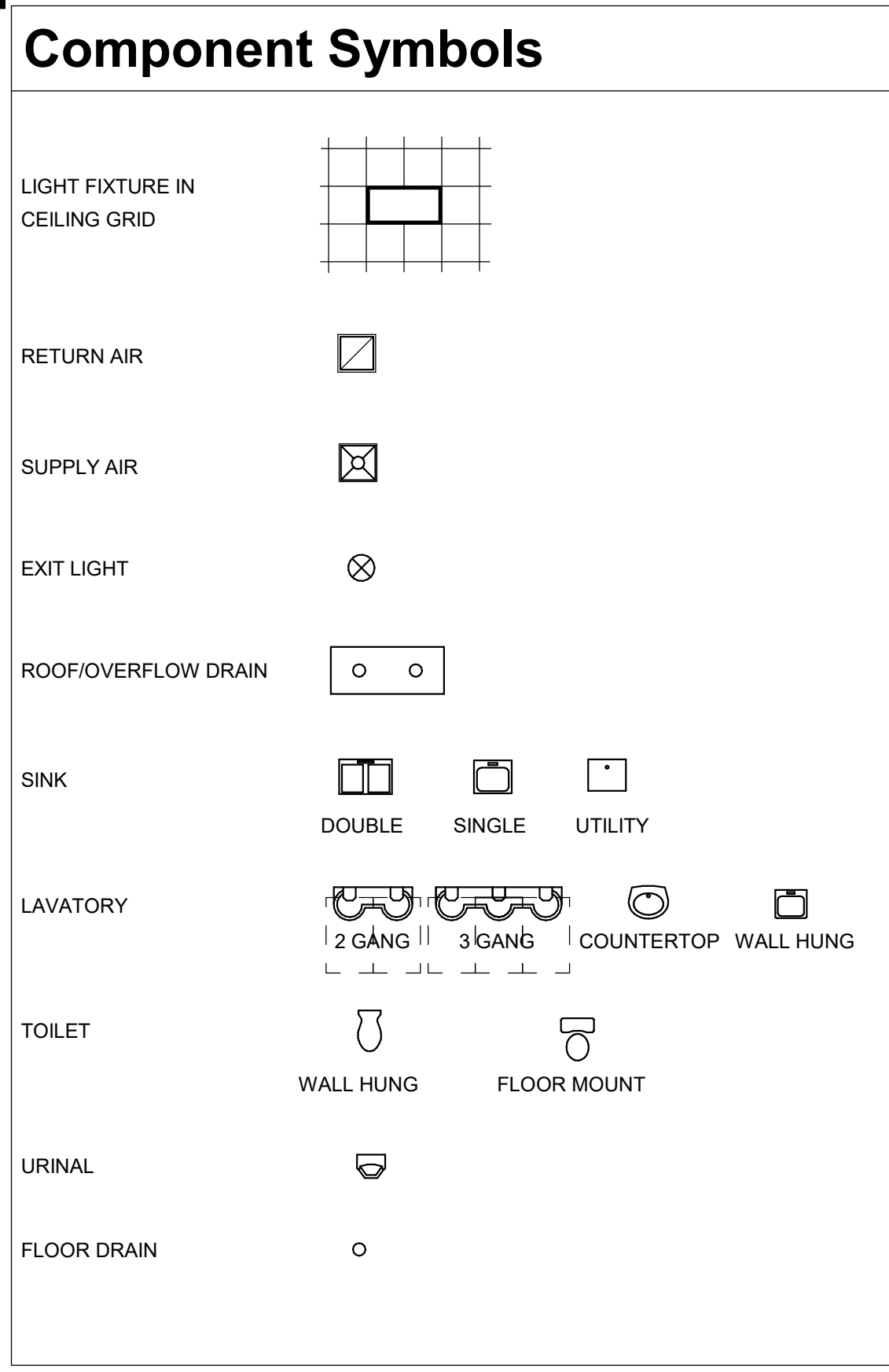
K. ALL NEW EXTERIOR WOOD SIDING, BATTENS, TRIM, AND OTHER VISIBLE EXTERIOR WOOD COMPONENTS ARE TO MATCH THE PROFILE, SIZE, AND DIMENSION OF THE EXISTING.



EXTERIOR FINISH SCHEDULE

THIS LEGEND IS PROVIDED FOR REFERENCE PURPOSES ONLY. PRODUCTS/COLORS INDICATED ARE BASED ON BASIS OF DESIGN MANUFACTURERS. REFER TO SPECIFICATIONS FOR LIST OF ACCEPTED EQUAL MANUFACTURERS/PRODUCTS.

SPEC SECTION	MAT'L	MARK	COLOR: BASIS OF DESIGN
042000	RUBBLE	GREY	
092400	STUCCO		COLOR AS SELECTED BY ARCHITECT
079200	SEALANTS		ALL SEALANTS USED IN MASONRY CONTROL JOINTS SHALL MATCH THE MASONRY MORTAR ALL SEALANTS USED TO SEAL AROUND EXTERIOR WINDOWS AND DOOR FRAMES SHALL MATCH THE WINDOW AND DOOR FRAME COLOR.
081433	WOOD DOORS AND FRAMES		PAINT COLOR AS SELECTED BY ARCHITECT TO MATCH EXISTING DOORS AND FRAMES
080352.99	WOOD WINDOWS		PAINT COLOR AS SELECTED BY ARCHITECT TO MATCH EXISTING WINDOWS
062013	WOOD TRIM, BRACKETS, FASCIAS		STAIN COLOR AS SELECTED BY ARCHITECT TO MATCH EXISTING WOOD TRIM
062013	WOOD STAIR STRUCTURE, TREADS, RISERS AND RAILINGS		STAIN COLOR AS SELECTED BY ARCHITECT TO MATCH EXISTING WOOD TRIM
080352.99	GLAZING		BROKEN OR CRACKED GLASS TO BE REPLACED WITH SAME THICKNESS AS ORIGINAL.



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Project No. 2021-036.GAH
Project Date 01.08.2026
Produced MEW TM

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#	Revision	Date

3705 IN SR 16
Brook, IN 47922

NEWTON COUNTY BOARD OF COMMISSIONERS

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

ARCHITECTURAL GENERAL NOTES AND ABBREVIATIONS

A-001.3

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E

D

C

B

A

DEMOLITION FLOOR PLAN NOTES	
#	NOTE
1	EXTERMINATE BEES FROM EXISTING WALLS/CEILING. REMOVE ALL EXISTING TRACES OF BEE HIVE FROM THE WALL/CEILING CAVITY. REPLACE REMOVED PLASTER. REVIEW WITH ARCHITECT IN FIELD PRIOR TO SEALING UP WALL/CEILING CAVITY.
2	REMOVE EXISTING CASEWORK IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO WALL CABINETS, BASE CABINETS, COUNTERTOPS, FILL PANELS, SINKS AND ALL RELATED TRIMS. PATCH AND REPAIR ALL EXISTING ADJACENT SURFACES TO REMAIN AND PREP FOR NEW CONSTRUCTION/FINISHES.
3	REMOVE EXISTING INTERIOR WALL CONSTRUCTION IN ITS ENTIRETY TO LIMITS INDICATED INCLUDING PLUMBING. REFER TO P-SERIES DWGS. FIELD VERIFY ALL EXISTING WALL CONSTRUCTION PRIOR TO DEMOLITION. REFER TO ARCHITECTURAL AND INTERIOR FLOOR PLANS FOR FINISH CONDITIONS AND DIMENSIONS. PATCH AND REPAIR EXISTING ADJACENT SURFACES TO REMAIN AND PREP FOR NEW CONSTRUCTION.
4	REMOVE EXISTING WOODEN HANDRAIL.
5	REMOVE EXISTING APPLIANCES IN THEIR ENTIRETY.
6	REMOVE EXISTING TOILETS, SINKS, SHOWERS AND ALL RELATED ACCESSORIES IN THEIR ENTIRETY INCLUDING, BUT NOT LIMITED TO TOILET PAPER DISPENSERS, GRAB BARS, MEDICINE CABINET, MIRRORS AND SOAP DISPENSERS UNLESS NOTED OTHERWISE. PATCH AND REPAIR ALL EXISTING SURFACES TO REMAIN. PREP FOR NEW CONSTRUCTION/FINISH. SEE P-SERIES DRAWINGS FOR PLUMBING SCOPE.
7	EXISTING CHINA CABINET TO REMAIN. PROTECT DURING CONSTRUCTION.
8	REMOVE EXISTING DAMAGED PLASTER. PLUMBING ACCESS DOOR AND TRIM AFTER REMOVING TUB. REFER TO 4B/AD103.3 FOR IMAGE.
9	REMOVE PLYWOOD.
10	REMOVE WOOD STAIRS AND LANDING IN THEIR ENTIRETY.
11	REMOVE TOP WYTHE OF BRICK AND REPLACE WITH SIMILAR BRICK TYPE AND SIZE. RESPOUT BRICK.
12	REMOVE WOOD STAIRS AND LANDING IN THEIR ENTIRETY.
13	REMOVE WALL COVERING ON ENTIRE WALL. REFER TO 1A/AD103.3 FOR IMAGE.
14	CAREFULLY REMOVE EXISTING WOOD PANELING AND RETAIN FOR REINSTALLATION IN SAME LOCATION. PROTECT ADJACENT FINISHES. REMOVE ANY DEBRIS FOUND BEHIND PANEL. REFER TO 1B/AD103.3 FOR IMAGE.
15	CAREFULLY REMOVE SPLIT WOOD PANELING. PREP OPENING TO RECEIVE REPLACEMENT PANELING. REMOVE ANY DEBRIS FOUND BEHIND PANEL. MATCH COLOR OF STAINED WOOD. REFER TO 1C/AD103.3 FOR IMAGE.
16	REMOVE CRACKED PLASTER WALL AND CEILING. PATCH AND REPAIR ALL EXISTING SURFACES AND PREP FOR NEW CONSTRUCTION/FINISH. REFER TO 2A/AD103.3 FOR IMAGE.
17	REMOVE SPLIT TRIM. PATCH AND REPAIR ALL EXISTING SURFACES TO REMAIN AND PREP FOR NEW CONSTRUCTION/FINISH. REFER TO 2B/AD103.3 FOR IMAGE.
18	REMOVE WALL CONSTRUCTION TO 9" BELOW FINISH FLOOR LINE IN THEIR ENTIRETY TO LIMITS INDICATED. REMOVE ALL DOORS, FRAMES, WINDOWS AND MISCELLANEOUS FRAMING IN THEIR ENTIRETY. PROTECT ALL EXISTING STRUCTURAL MEMBERS TO REMAIN. PREPARE ADJACENT SURFACES TO REMAIN FOR NEW WORK. REFERENCE A-SERIES AND I-SERIES FLOOR PLANS FOR FINISH CONDITIONS. REFER TO SECTIONS FOR FURTHER DEFINITION OF DEMOLITION WORK.
19	REMOVE EXISTING DOOR SYSTEM IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO THE DOOR, FRAME, SIDELIGHTS, GLAZING, HARDWARE AND ALL RELATED ANCHORS. PREP EXISTING OPENING FOR NEW CONSTRUCTION. PATCH AND REPAIR ALL ADJACENT SURFACES TO REMAIN FOR NEW CONSTRUCTION/FINISH.
20	REMOVE EXISTING WINDOW SYSTEM IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO THE GLAZING, SPANDREL PANELS, WINDOW FRAME, SEALANTS, AND ALL RELATED ANCHORS. PATCH AND REPAIR ADJACENT SURFACES TO REMAIN AND PREP FOR NEW CONSTRUCTION/FINISH.
21	REMOVE ROTTED TRIM TO EXTENTS REQUIRED. REPLACE WITH LIKE DIMENSIONED TRIM. REPAIR PLASTER WORK UNDER WINDOW FRAME AS NEEDED. REFER TO 3B/AD103.3 FOR IMAGE.

DEMOLITION FLOOR PLAN NOTES	
#	NOTE
22	REMOVE ROTTED TRIM TO EXTENTS REQUIRED. REPLACE WITH LIKE DIMENSIONED TRIM. REPAIR PLASTER WORK UNDER WINDOW FRAME AS NEEDED. REFER TO 3C/AD103.3 FOR IMAGE.
23	REMOVE EXISTING PLUMBING FIXTURES. REMOVE WALL CONSTRUCTION AS NEEDED TO REPAIR PIPING. REPLACE BASEBOARD TRIM WITH LIKE DIMENSIONED BOARD. REFER TO 2D/AD103.3 FOR IMAGE.
24	REMOVE ROTTED TRIM TO EXTENTS REQUIRED. REPLACE WITH LIKE DIMENSIONED TRIM. REPAIR PLASTER WORK UNDER WINDOW FRAME AS NEEDED. REFER TO 4A/AD103.3 FOR IMAGE.
25	REMOVE EXISTING TRANSITION. PATCH AND REPAIR ADJACENT SURFACES TO REMAIN AND PREP FOR NEW FINISH. REFER TO 5A/AD103.3 FOR IMAGE.
26	REMOVE PLASTER WALL AS NEEDED FOR NEW PIPING. REPAIR WITH LIKE CONSTRUCTION. REFER TO 6A/AD103.3 FOR IMAGE.
27	REMOVE PLASTER WALL AS NEEDED FOR NEW PIPING. REPAIR WITH LIKE CONSTRUCTION.
28	STRIP FLOOR. REFER TO 4A/AD104 FOR IMAGE.
29	REMOVE DECORATIVE WOOD TRIM AND STOOL. REFER TO 4C/AD103.3 FOR IMAGE.
30	EXISTING CHINA CABINET BE REMOVED AND STORED DURING CONSTRUCTION. CABINET TO BE MOVED BY OWNER.
31	REMOVE EXISTING GRILLE AND DUCTWORK. PATCH AND REPAIR WALL WITH LIKE CONSTRUCTION.
32	REMOVE PLASTER WALL AS NEEDED FOR PIPE CAPPING. REPAIR WITH LIKE CONSTRUCTION.
33	PATCH AND REPAIR FLOOR PENETRATION FROM PIPE DISCONNECT. REPAIR WITH LIKE CONSTRUCTION.
34	REMOVE PLASTER CEILING AS NEEDED FOR NEW PIPING. PATCH AND REPAIR ALL EXISTING SURFACES AND PREP FOR NEW CONSTRUCTION/FINISH.
35	REMOVE EXISTING PIPING AND AREA OF DAMAGED PLASTER WALLS WHERE AS INDICATED BY HATCH. REFER TO 5B/AD103.3 AND 5C/AD103.3 FOR IMAGE. REFER TO P-SERIES DWGS FOR SCOPE.
36	CUT INTO EXISTING WALL TO PROVIDE GRILL FOR AIR MOVEMENT. COORDINATE GRILL LOCATION WITH I-SERIES DRAWINGS.
37	RETAIN AND REFINISH WOOD BACKED MIRROR.
38	REMOVE MIRROR AND ALL ATTACHMENTS FROM DOOR.
39	REMOVE DOWNSPOUTS IN THEIR ENTIRETY INCLUDING ALL ATTACHMENTS.
40	REMOVE EXISTING STAIR TREADS AND REPAIR SIDING BOARD UNDER THRESHOLD. RETAIN STAIR TREADS FOR REINSTALLATION. REFER TO 1A/AD212.3 FOR IMAGE.
41	REFER TO SPECIFICATION SECTION 012300 FOR SCOPE OF BOILER REMOVAL.
42	REMOVE GUTTERS IN THEIR ENTIRETY INCLUDING ALL ATTACHEMENTS. REPLACE GUTTERS TO MATCH THE LOCATION, PROFILE AND DIMENSIONS OF THE EXISTING GUTTERS. REFER TO 4A/AD212.3 FOR IMAGE OF CONDITION.
43	REMOVE PLASTER CEILING TO EXTENTS INDICATED. PATCH AND REPAIR ALL EXISTING SURFACES AND PREP FOR NEW CONSTRUCTION/FINISH. REFER TO 3A/AD103.3 FOR IMAGE.

General Demolition Notes

A. Contractor shall field-verify all existing conditions, dimensions, and arrangements.

B. Contractor is responsible for protection of all existing surfaces, materials, and components to remain or be relocated. Damage to these resulting from performance of Work shall be repaired by Contractor to satisfaction of Owner and Architect at no additional expense to Owner.

C. Contractor shall provide temporary dust protection as required to prevent construction debris and dust from migrating out of Project Area. Owner/Architect shall confirm all dust prevention measures/locations and shall determine changes to these measures.

D. All existing equipment and fixtures shall remain property of Owner. All reusable items salvaged during demolition operations shall be disposed of Owner's inspection. Only items so inspected and rejected by Owner shall be disposed. All other such items shall be turned over to Owner for disposition.

E. All existing surfaces located adjacent to, or exposed by demolition work and scheduled to receive new construction shall be patched and repaired as required to cleanly receive new work.

F. All existing surfaces located adjacent to, or exposed by demolition work and scheduled to remain exposed after completion of new construction shall be repaired and patched as required to receive new finishes.

G. Owner will be responsible for removal/rearrangement of all existing loose furnishings during construction, unless noted otherwise.

H. Refer to Mech./Elec. Drawings for additional patching and preparation work related to M.E.P. demolition items.

I. Existing sleeves, holes, and other penetrations or new damage of existing building structure above grade exposed by demolition and removal of piping, apertures, etc. equipment shall be patched and repaired as part of the Work. Maintain fire ratings of all and adjacent construction affected.

J. Cap all piping to remain or abandoned in accordance with requirements of authority having jurisdiction and in accordance with all local and state plumbing and health codes. Utilize only pre-manufactured and approved fittings to cap existing piping.

K. Coordinate all demolition with Project sequencing as directed by General Contractor or Construction Manager. Specific instances are noted but work is not limited to these instances. Owner has right of first refusal.

L. Remove all exterior holiday light strips and fix holes when needed.

M. Remove all exterior window screens with associated hardware and return to owner.

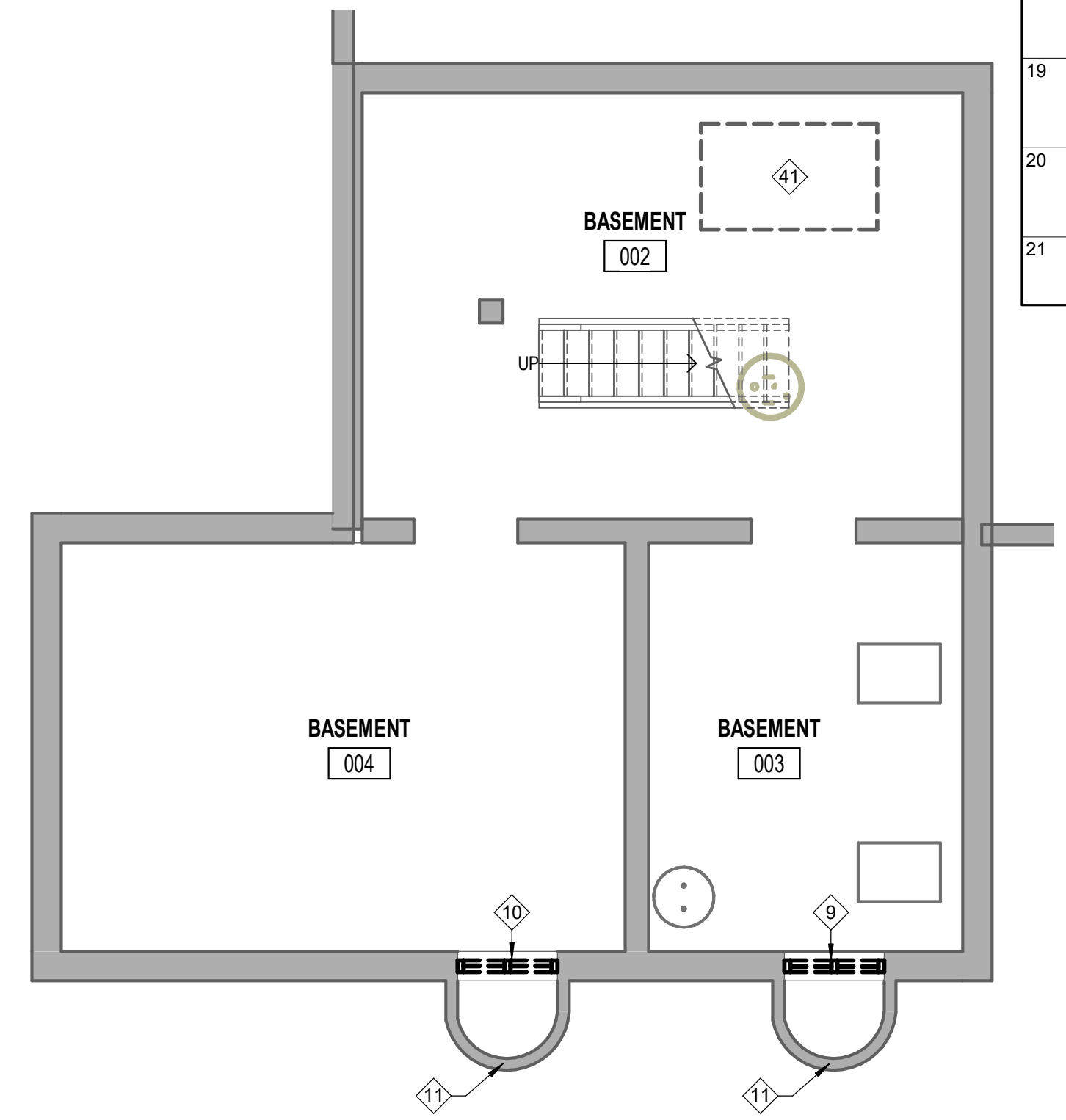
N. At all existing exterior wood, re-nail existing wood where loose. Re-position wood that has shifted from its original position and re-secure. Pull exterior wood light where gapped from its adjacent piece.

O. Remove all hornets/bee nests from the exterior.

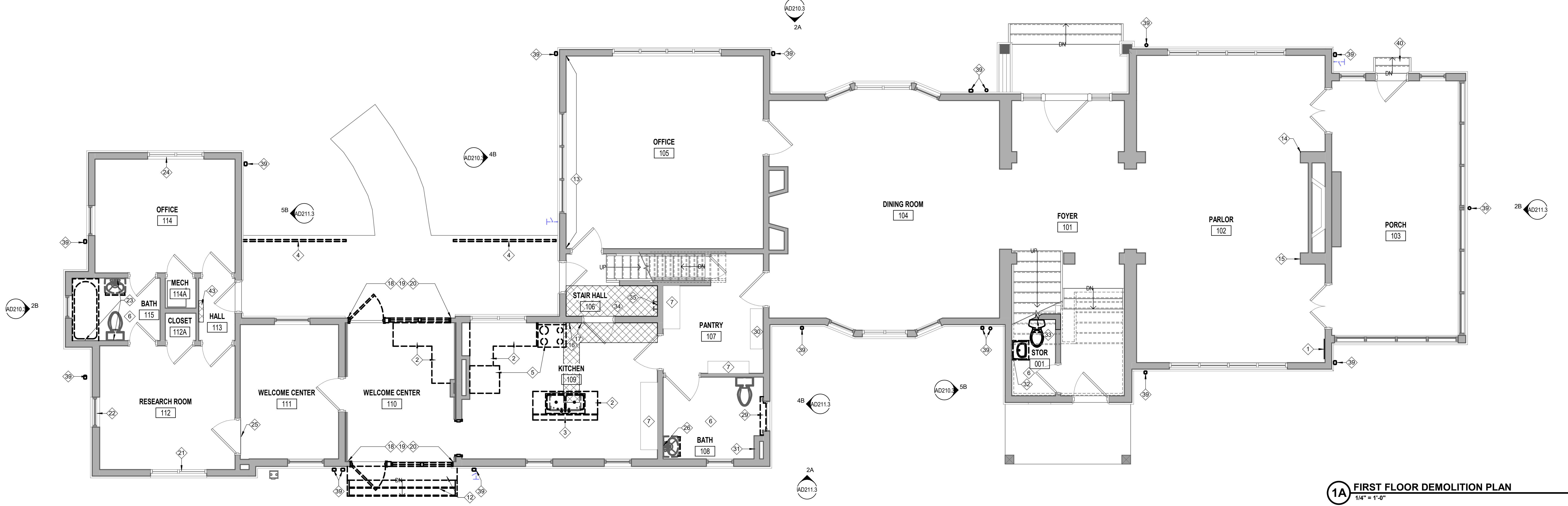
P. Strip and evaluate all facias to determined condition of wood. Inform architect of wood that may need to be replaced where its replacement has been noted in the drawings.

Q. Remove leaves from entire perimeter of building.

R. Remove window treatments and associated hardware in areas of work. Salvage and reinstall.



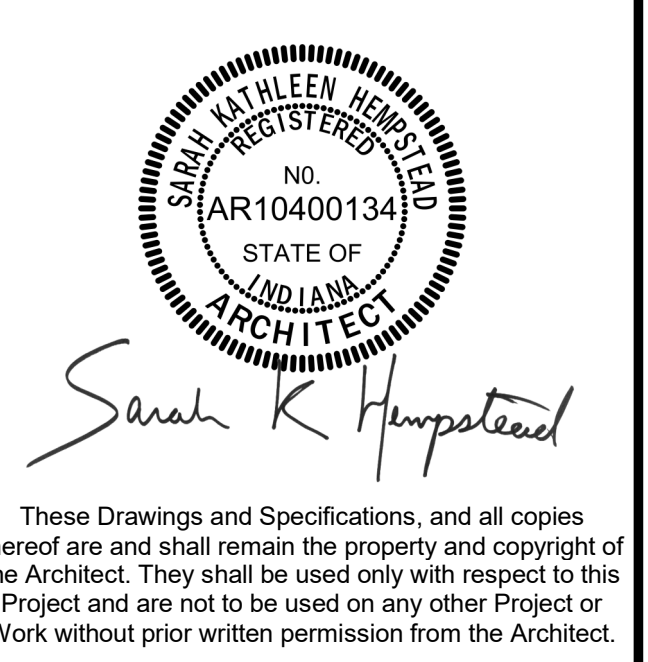
4C BASEMENT FLOOR DEMOLITION PLAN
1/4" = 1'-0"



1A FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



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3705 IN SR 16
Brook, IN 47922

NEWTON COUNTY
BOARD OF
COMMISSIONERS

HAZELDEN
ESTATE
RESTORATION -
HOUSE
RESTORATION -
BID PACKAGE 3

FIRST FLOOR AND
BASEMENT DEMOLITION
PLANS
AD101.3

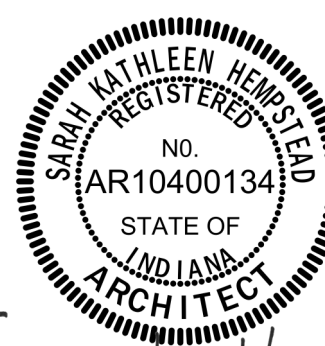
ARCHITECT: SCOTT F. HARRIS AND ASSOCIATES ARCHITECTS, INC.
 10000 WINDY HOLLOW DRIVE, SUITE 100, INDIANAPOLIS, IN 46240
 (317) 552-1100
 www.scottharris.com

NOTE: DASHED LINE INDICATES AREA OF DEMOLITION WORK.



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Project No. 2021-036.GAH
 Project Date 01.08.2026
 Produced MEW TM



Sarah K. Hempstead

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#	Revision	Date

3705 IN SR 16
 Brook, IN 47922

NEWTON COUNTY BOARD OF COMMISSIONERS

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

INTERIOR DEMOLITION NOTES

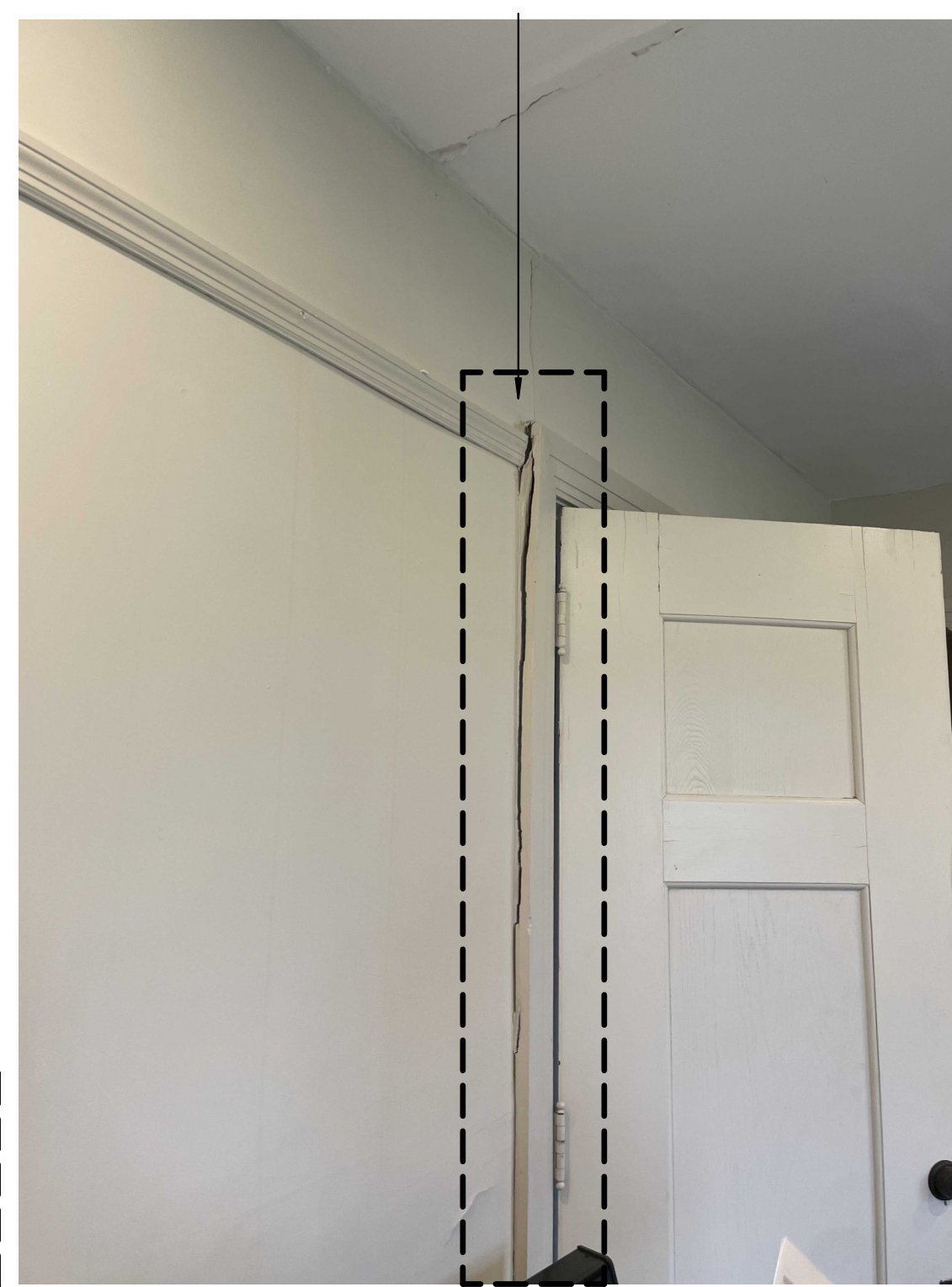
AD103.3

REMOVE EXISTING PLUMBING FIXTURES. REMOVE WALL CONSTRUCTION AS NEEDED TO REPAIR PIPING. REPLACE BASEBOARD TRIM WITH LIKE DIMENSIONED BOARD.



2D REFERENCE IMAGE
1 1/2" = 1'-0"

REMOVE SPLIT TRIM. PATCH AND REPAIR ALL EXISTING SURFACES TO REMAIN AND PREP FOR NEW CONSTRUCTION/FINISH.



2B REFERENCE IMAGE
1 1/2" = 1'-0"

REMOVE ROTTED FRAME TO EXTENTS REQUIRED. REPLACE WITH LIKE DIMENSIONED TRIM. REPAIR PLASTER WORK UNDER WINDOW FRAME AS NEEDED.



3C REFERENCE IMAGE
1 1/2" = 1'-0"

REMOVE ROTTED FRAME TO EXTENTS REQUIRED. REPLACE WITH LIKE DIMENSIONED TRIM. REPAIR PLASTER WORK UNDER WINDOW FRAME AS NEEDED.



3B REFERENCE IMAGE
1 1/2" = 1'-0"

REMOVE PLASTER CEILING TO EXTENTS INDICATED. PATCH AND REPAIR ALL EXISTING SURFACES AND PREP FOR NEW CONSTRUCTION/FINISH.



3A REFERENCE IMAGE
1 1/2" = 1'-0"

CAREFULLY REMOVE SPLIT WOOD PANELING. PREP OPENING TO RECEIVE REPLACEMENT PANELING. REMOVE ANY DEBRIS FOUND BEHIND PANEL. MATCH COLOR OF STAINED WOOD.



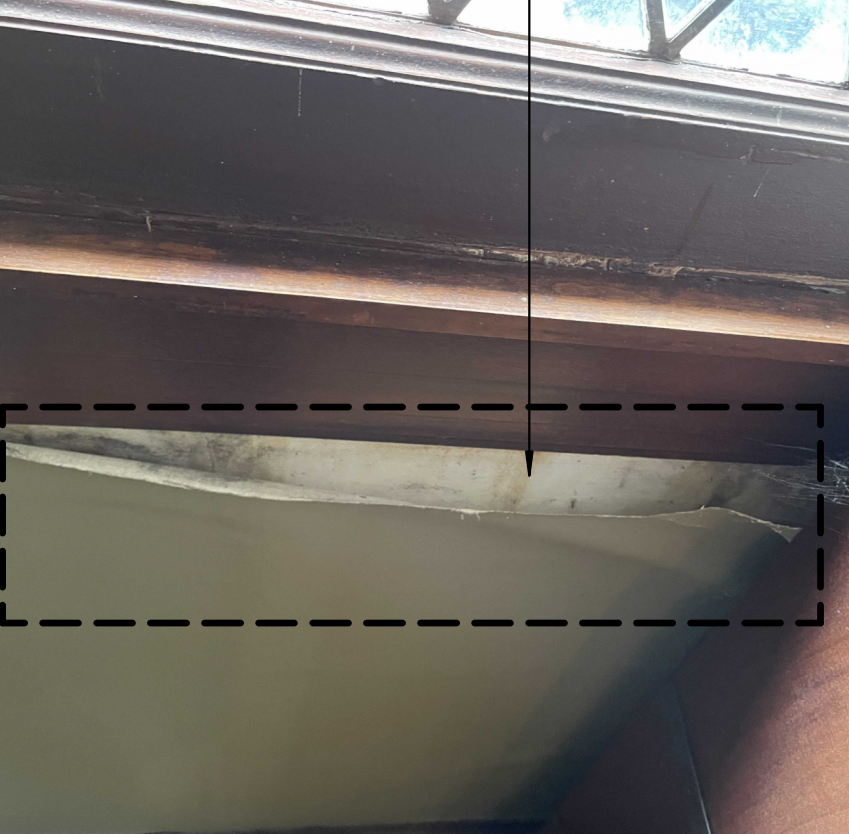
1C REFERENCE IMAGE
1 1/2" = 1'-0"

CAREFULLY REMOVE EXISTING WOOD PANELING AND RETAIN FOR REINSTALLATION IN SAME LOCATION. PROTECT ADJACENT FINISHES. REMOVE ANY DEBRIS FOUND BEHIND PANEL.



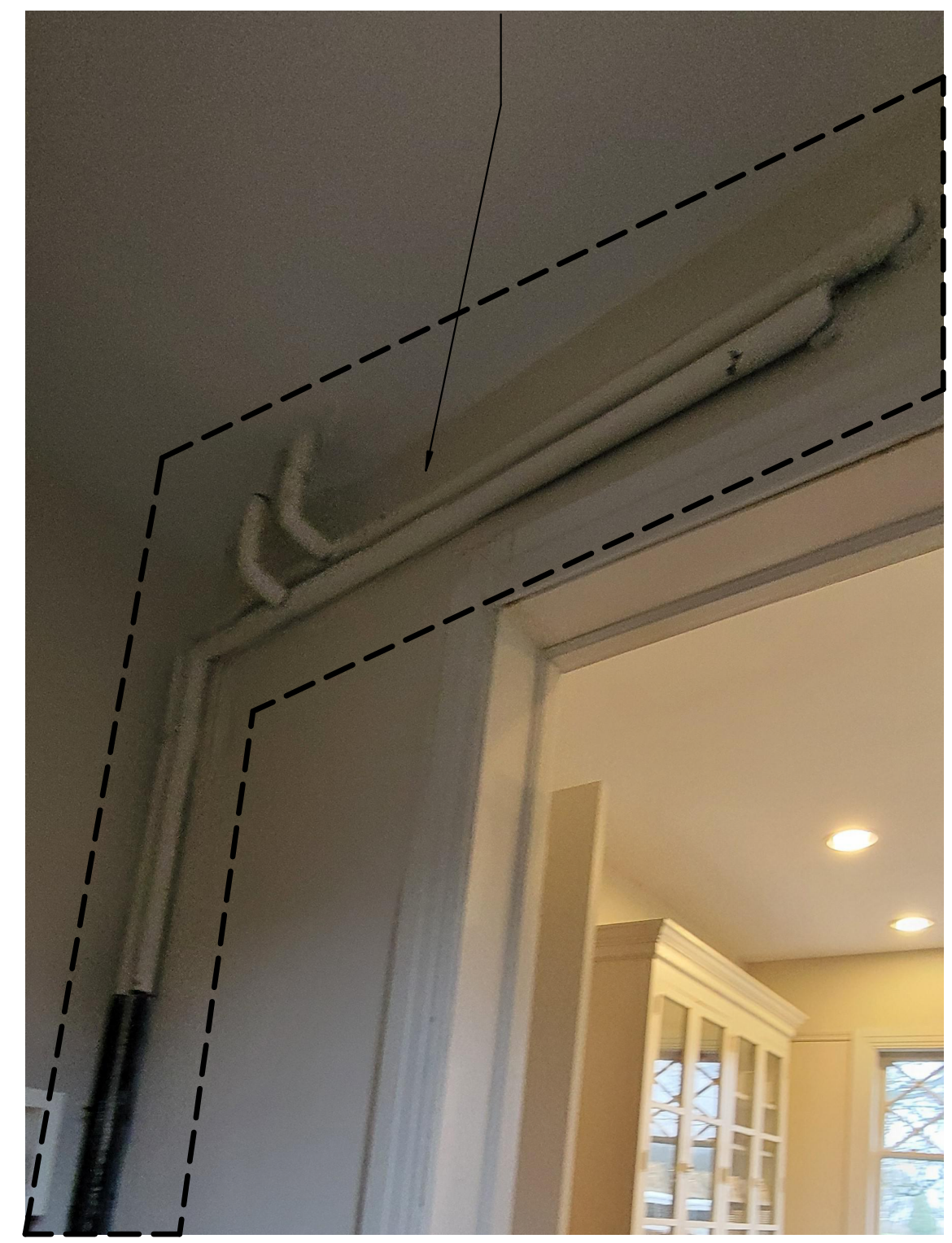
1B REFERENCE IMAGE
1 1/2" = 1'-0"

REMOVE WALL COVERING ON ENTIRE WALL.



1A REFERENCE IMAGE
1 1/2" = 1'-0"

REMOVE EXISTING PIPING AND AREA OF DAMAGED PLASTER WALLS WHERE AS INDICATED BY HATCH.



5C REFERENCE IMAGE
1 1/2" = 1'-0"

REMOVE DECORATIVE WOOD TRIM AND SILL CAP.



4C REFERENCE IMAGE
1 1/2" = 1'-0"

REMOVE EXISTING PIPING AND AREA OF DAMAGED PLASTER WALLS WHERE AS INDICATED BY HATCH.



5B REFERENCE IMAGE
1 1/2" = 1'-0"

REMOVE EXISTING DAMAGED PLASTER. PLUMBING ACCESS DOOR AND TRIM AFTER REMOVING TUB.



4B REFERENCE IMAGE
1 1/2" = 1'-0"

REMOVE EXISTING TRANSITION. PATCH AND REPAIR ADJACENT SURFACES TO REMAIN AND PREP FOR NEW FINISH.



5A REFERENCE IMAGE
1 1/2" = 1'-0"

REMOVE ROTTED FRAME TO EXTENTS REQUIRED. REPLACE WITH LIKE DIMENSIONED TRIM. REPAIR PLASTER WORK UNDER WINDOW FRAME AS NEEDED.



4A REFERENCE IMAGE
1 1/2" = 1'-0"

REMOVE PLASTER WALL AS NEEDED FOR NEW PIPING. REPAIR WITH LIKE CONSTRUCTION.



6A REFERENCE IMAGE
1 1/2" = 1'-0"

E
D
C
B
A

DATE: 01/08/2026
 DRAWING: INTERIOR DEMOLITION - HOUSE RESTORATION - BID PACKAGE 3
 PROJECT: 3705 IN SR 16, BROOK, IN 47922
 SHEET: AD103.3