

NEWTON COUNTY BOARD OF COMMISSIONERS

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION

2021-036.GAH
 3705 IN SR 16
 Brook, IN 47922

BID PACKAGE 3

01.08.2026

2021-036.GAH



General Notes

Vicinity Map

Thoroughfare Map

Nothing set forth in these Drawings shall release any Contractor from responsibility to provide appropriate quantities, field measurements, dimensional stability, installation, anchorage and coordination with other trades, or waive the Contractor's responsibility to identify and resolve deviations from the requirements of the Contract Documents, or waive the Contractor's responsibility to alert the Architect to errors or omissions contained therein.

Each Contractor shall verify in the field all existing applicable conditions and dimensions shown on the Drawings and as pertinent to the intent of these Drawings. Any discrepancy discovered shall be brought to the attention of the Architect prior to the commencement of any Work affected by, or related to, such discrepancy.

Each Contractor shall be responsible for all costs associated with, or caused by failure to comply with requirements.

Each Contractor shall review in advance all portions of the Work to verify that the Work will not prohibit completion of the Project as intended in these Contract Documents. Any questions shall be promptly referred to the Architect for resolution.

Each Contractor shall refer to the Project Manual for cleaning and disposal requirements.

Each Contractor shall be responsible for the protection of all surfaces and finishes at interior and exterior of building. Damaged surfaces and finishes resulting from the performance of the Work shall be repaired at no cost to the Owner by the responsible Contractor to match existing to the satisfaction of the Owner.

Each Contractor shall coordinate respective cutting and patching Work with the other Prime Contractors.

Each Contractor shall become completely familiar with all aspects of the Work, even those areas designated to be provided by others. This familiarization includes full and complete understanding of the Work described on all Sheets of the Drawings and in all Sections of the Project Manual. Failure by the Contractor to become completely familiar and cognizant of all aspects of the Work shall not relieve the Contractor of the responsibility to provide materials, assemblies, or services indicated in the Contract Documents.

County Commissioners:

- District 1: Steven Eilers
- District 2: Abbey Rossiter
- District 3: Robert Churchill

County Council:

- District 1: Tom Vanvleet
- District 2: Scott Carlson
- District 3: Matthew Walsh
- District 4: David Atkinson
- At Large: Heidi McCord
- At Large: Mick Vanderwall
- At Large: Robert Goncy

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NEWTON COUNTY BOARD OF COMMISSIONERS

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION

BID PACKAGE SCHEDULE		
BID PACKAGE	PACKAGE DESCRIPTION	ISSUE DATE
1	GARDEN RESTORATION	PREVIOUSLY AWARDED
2	UTILITY SITE PREPARATION	11.21.2025
3	HOUSE RESTORATION	11.21.2025
4	CARRIAGE HOUSE RENOVATION	11.21.2025
5	SUPPLEMENTAL SITE WORK	11.21.2025

Professional Engineer Seal: Robert M. Lee, No. 10100205, State of Indiana, Registered Professional Engineer.

Professional Engineer Seal: E. Miller, No. 19900465, State of Indiana, Registered Professional Engineer.

Professional Architect Seal: Sarah K. Hempstead, No. AR10400134, State of Indiana, Registered Architect.

Professional Engineer Seal: [Signature]

SCHMIDT ASSOCIATES
 schmidt-arch.com • 317.263.6226
 415 Massachusetts Ave., Indianapolis, IN 46204
 731 Brent St. #203, Louisville, KY 40204

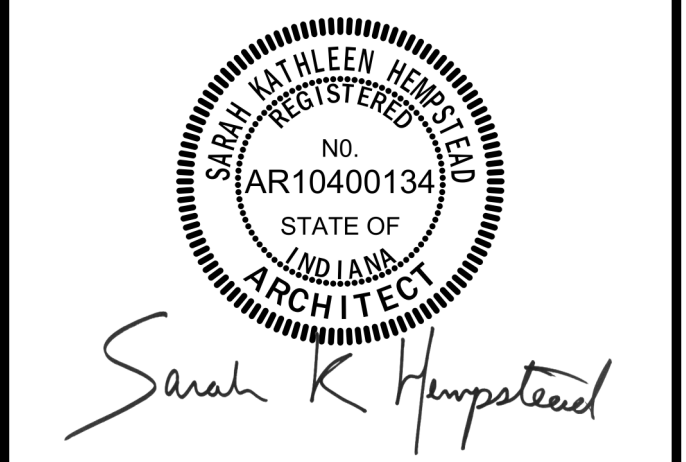
REITANO DESIGN GROUP

HB Lynch, Harrison & Brumleve, Inc.

CODE SUMMARY	
APPLICABLE CODE:	2014 Indiana Building Code (IBC) ICC/ANSI A-117.1 Standard, 2009 Edition 875 IAC General Administrative Rules
SCOPE OF WORK:	Interior renovations of the George Ade Historic House Museum. The renovations are mainly to upgrade walking paths within the building to provide handicapped accessibility and exterior renovations and maintenance work. The house was originally constructed in 1904 and became a Historic House Museum, open to the public, in 1969.
CODE STRATEGY:	As an existing building, the project is only required to comply with current codes for the new construction that occurs. The GRS requirements, existing conditions that are not within the scope of the project, will be existing to remain.
EXISTING CONDITIONS:	Existing buildings and structures shall be maintained in conformance with the applicable rules of the commission, or applicable rules of its predecessor agencies, in effect when constructed, installed, or altered. Existing buildings and structures constructed, installed, or altered prior to the adoption of applicable rules by the commission or its predecessor agencies (including construction, installation, or alteration prior to the creation of the predecessor agencies) shall be maintained in a condition at least as safe and sanitary as they were when constructed, installed, or altered (875 IAC 12-4-9(a)). Additions or alterations are permitted to be made in existing buildings without requiring the entire building to meet the current rules of the commission, provided that all new work conforms to current codes. Items that are existing to remain are not required to be brought up to current codes (875 IAC 12-4-12).
CODE OF RECORD:	The building was first used as a Historic House Museum in 1969. The code in effect at that time was the 1967 Indiana Building Rules and Regulations.
OCCUPANCY CLASSIFICATION:	Historic House Museum A-3 Occupancy (IBC, 303.4)
CONSTRUCTION TYPE:	The existing construction type of the building is consistent with Type V-B Construction (IBC, 503.1)
BUILDING ELEMENTS - FIRE-RESISTIVE REQUIREMENTS:	Building elements, including structural frame and roof are permitted to be of any materials permitted by the code (IBC, 602.5) Exterior walls are permitted to be non-rated, since having at least 10 feet of fire separation distance (IBC, Table 602, 705.3)
ACCESSIBILITY:	Sites, buildings, structures, facilities, elements and spaces are required to be accessible to persons with physical disabilities. Any new construction within the scope of the project, is required to meet the accessibility requirements of the 2014 Indiana Building Code...



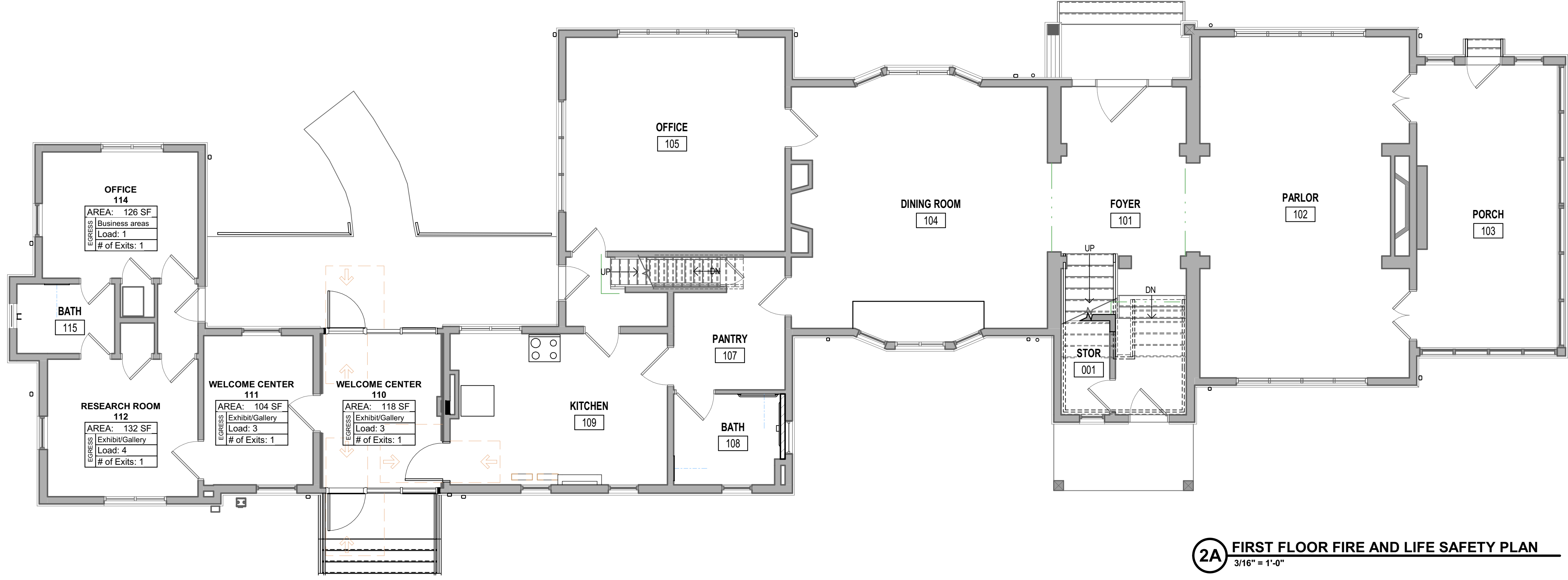
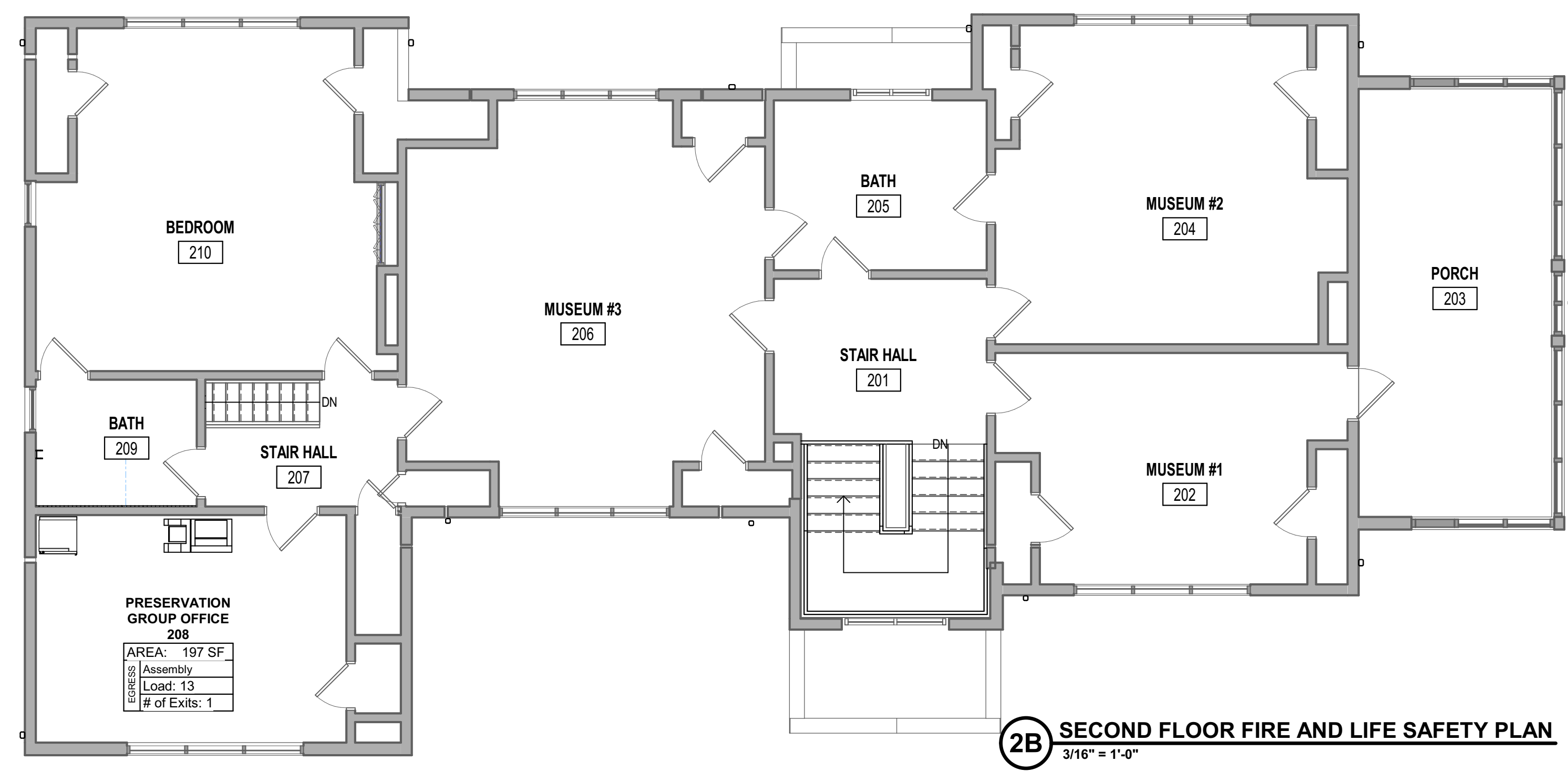
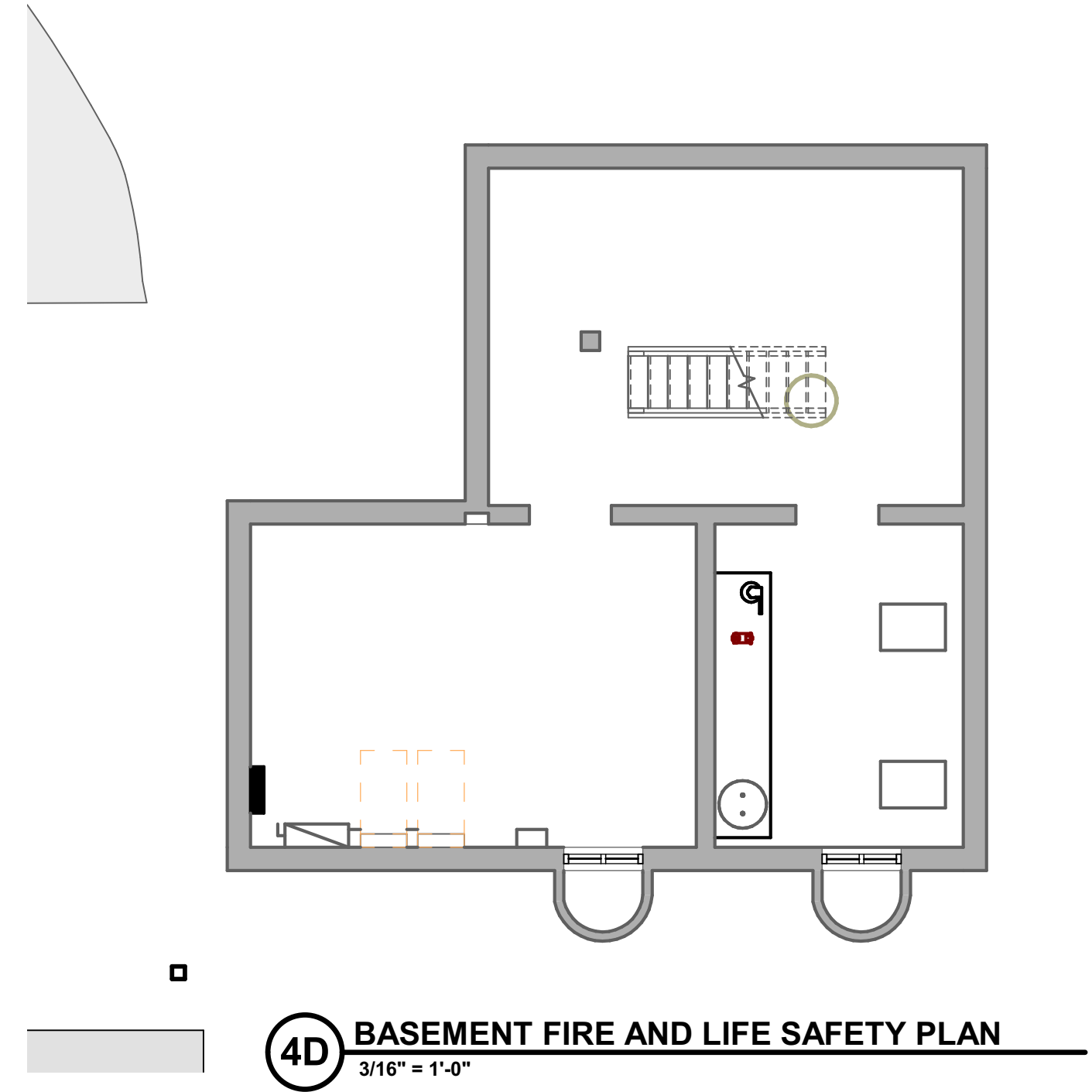
Project No. 2021-036.GAH
Project Date 01.08.2026
Produced MEW TM



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LIFE SAFETY PLAN LEGEND

- | | | |
|---|-----|------------------------|
| Room name | 101 | EGRESS INFORMATION TAG |
| AREA: 150 SF | | |
| Occupancy | | |
| Load: # | | |
| # of Exits: # | | |
| LOCK BOX | | |
| ANNUNCIATOR PANEL | | |
| FIRE HOSE CABINET | | |
| FIRE EXTINGUISHER (NOT REQUIRED) | | |
| NON-RATED INCIDENTAL-USE WALL [508.2.2.1] | | |
| 1-HOUR FB RATED WALL | | |
| 2-HOUR FB RATED WALL | | |
| 4-HOUR FB RATED WALL | | |
| 1-HOUR FIRE PARTITION [419, 1017.1] | | |



#	Revision	Date

3705 IN SR 16
Brook, IN 47922

NEWTON COUNTY
BOARD OF
COMMISSIONERS

HAZELDEN
ESTATE
RESTORATION -
HOUSE
RESTORATION -
BID PACKAGE 3

FIRE AND LIFE SAFETY
PLANS

G-100.3

SCALE: FIRE AND LIFE SAFETY PLANS
DATE: 01/08/2026
DRAWN BY: MEW
CHECKED BY: MEW
PROJECT: HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3
SHEET: G-100.3

NEWTON COUNTY BOARD OF COMMISSIONERS HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

01.08.2026

2021-036.GAH

General Notes

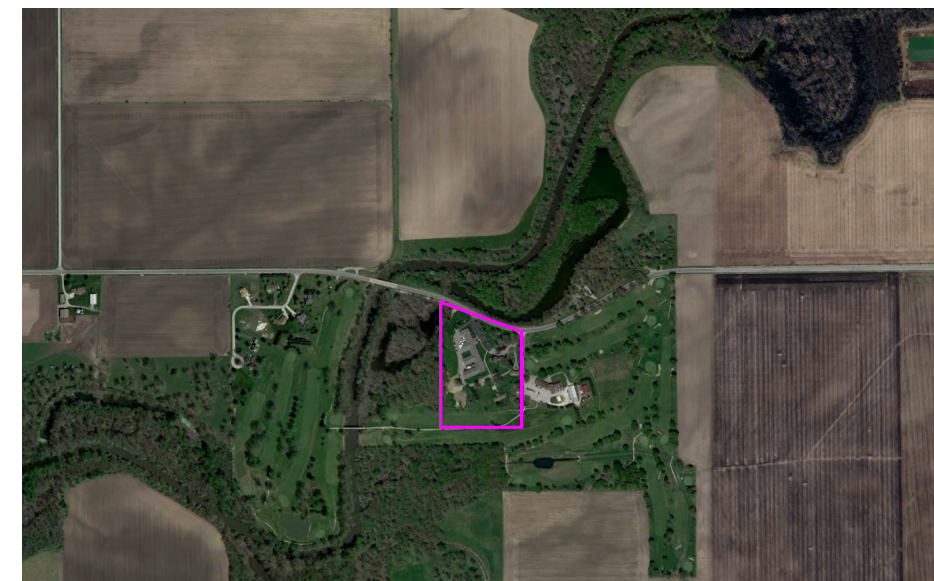
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3705 IN-16
Brook, IN 47922

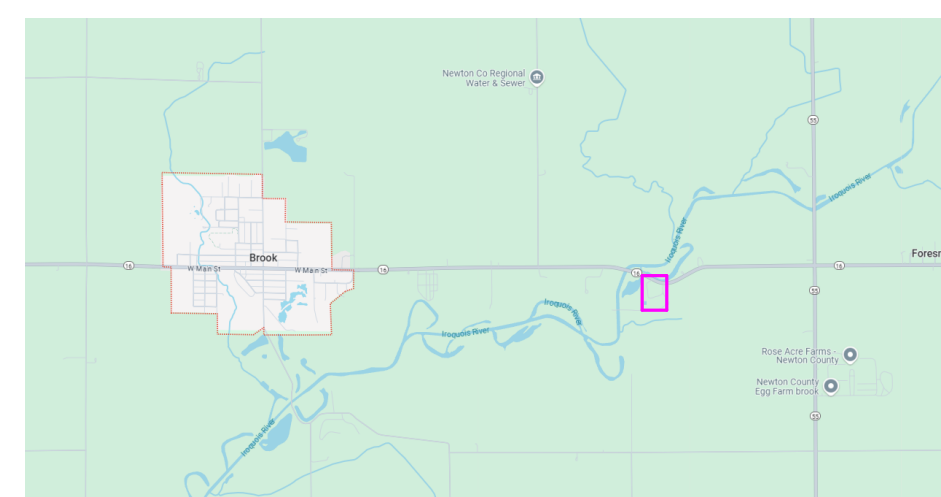
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Vicinity Map



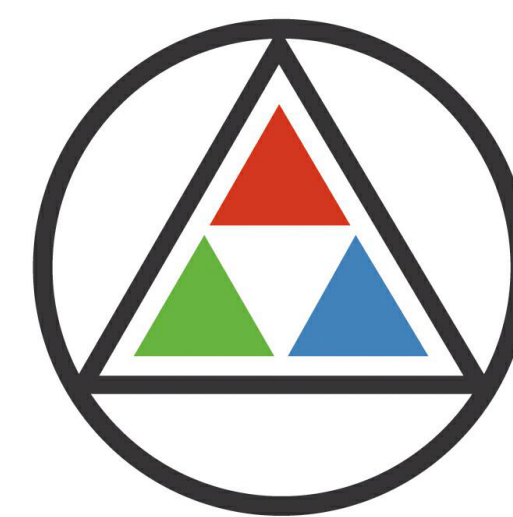
Thoroughfare Map



Sarah K. Hempstead



Kyle E. Miller



SCHMIDT
ASSOCIATES

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NEWTON COUNTY BOARD OF COMMISSIONERS

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

COVER SHEET

CG-000.3

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3

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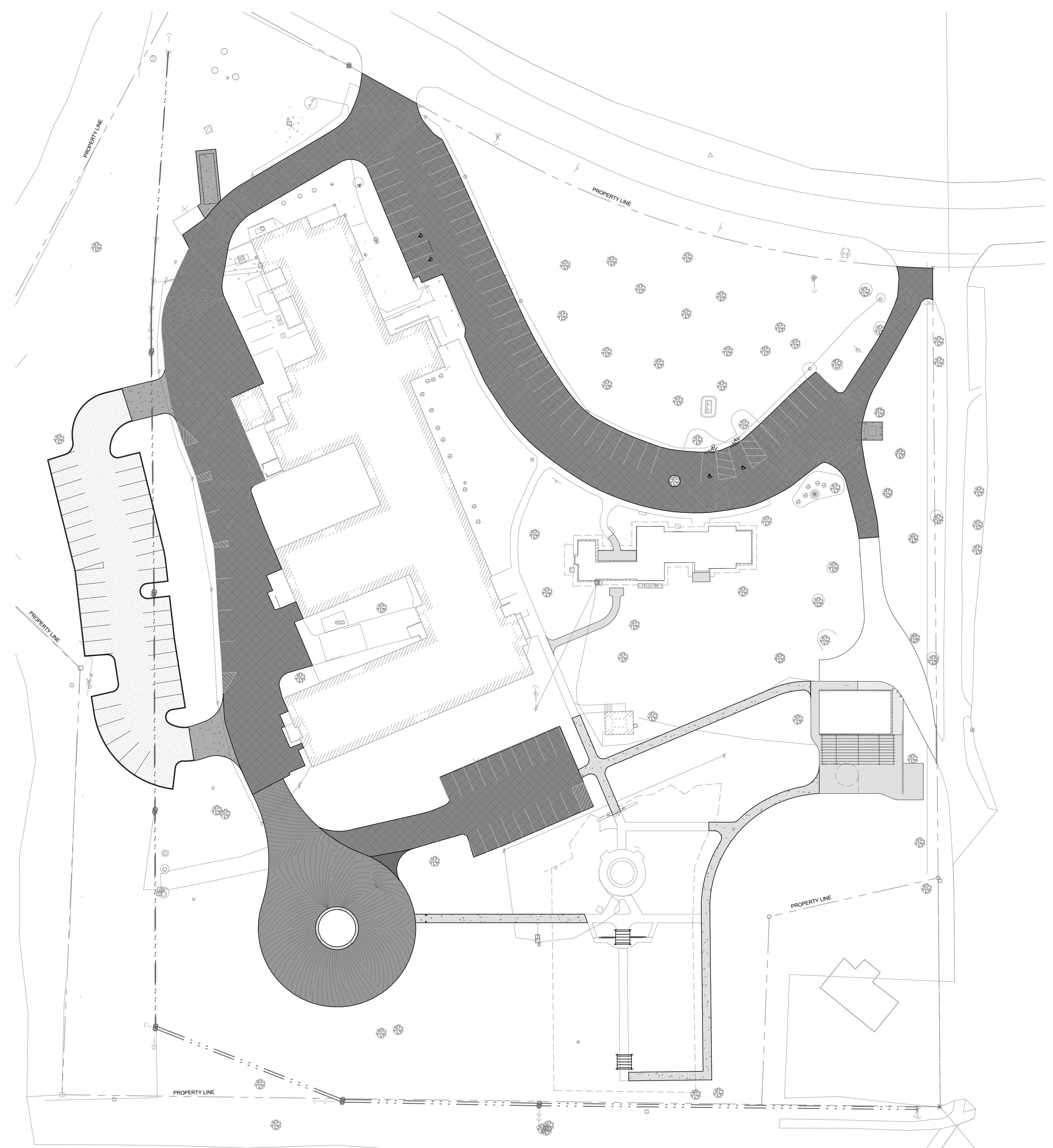
1

D

C

B

A



1 OVERALL SITE LAYOUT PLAN
1" = 40'-0"

GENERAL LAYOUT NOTES

1. REFERENCE C-001 FOR GENERAL LAYOUT PLAN NOTES.
2. NORTHING AND EASTING COORDINATES ARE STATE PLANE COORDINATES BASED ON A TOPOGRAPHIC SURVEY. REFER TO SURVEY DRAWINGS FOR HORIZONTAL CONTROL POINT DATA.
3. ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS.

SUPPLEMENTAL SITE WORK LAYOUT LEGEND

	HEAVY DUTY ASPHALT. SEE DETAIL 1C/CL501.5 AND SPECS
	STANDARD DUTY CONCRETE. SEE DETAIL 1A/CL501.5 AND SPECS
	HEAVY DUTY CONCRETE. SEE DETAIL 1B/CL501.5 AND SPECS
	SEAL COAT. SEE SPECS
	PERMEABLE PAVERS. SEE DETAIL 5A/CL501.5 AND SPECS



SCHMIDT ASSOCIATES

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Project No. 2021-036.GAH
Project Date 01.08.2026
Produced SG/CF



Kyle E. Miller

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#	Revision	Date
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#	Revision	Date

3705 IN-16
Brook, IN 47922

NEWTON COUNTY BOARD OF COMMISSIONERS

HAZELDEN ESTATE RESTORATION - COMPOSITE SITE LAYOUT

COMPOSITE SITE LAYOUT

G-001

5

4

3

2

1

General Site Notes

- See Survey sheets for all topographic and survey information. Schmidt Associates, Inc. claims no responsibility for the accuracy of the information provided in these surveys.
- All damages to existing improvements, excavation and/or removal of any and all existing improvements during construction shall be kept to a minimum. Any existing improvements damaged during construction shall be restored, reconstructed or replaced by the Contractor at his expense.
- It is the responsibility of the Contractor to remove all mud, dirt, gravel, and any other materials trucked onto any public or private streets or sidewalks.
- Provide smooth transition from new areas to existing features as necessary.
- The Contractor shall submit samples of materials and finishes to the Landscape Architect/Engineer for approval prior to ordering and installation as outlined in the specifications.
- All areas where proposed asphalt pavement meets the existing pavement, the existing pavement edge shall be properly sealed with a tack coat material.

General Erosion Control Notes

- All erosion and sediment control practices shall be in accordance with the Indiana Handbook for Erosion Control in Developing Areas from the Division of Soil Conservation, Indiana Department of Natural Resources.
- A copy of this Erosion and Sediment Control Plan and the Erosion and Sediment Control Report shall be available at the Project Site throughout the entire construction period.
- The Contractor shall control waste, garbage, debris, wastewater, and other substances on the site so they will not be transported from the site by the action of wind, storm water runoff, or other forces. Proper disposal or management of all wastes and unused building material appropriate to the nature of the waste or material is required.
- Public or private roadways shall be kept clear of accumulated sediment. All sediment that is cleared must be returned to the likely point of origin or other suitable location. Clearing of large amounts of sediment shall not include flushing the area with water.
- Minimize the exposure of bare earth by limiting the work area to that necessary to perform the Work, and by proper scheduling of manpower and equipment.
- All erosion and sediment control measures shall be inspected, cleaned, and maintained following each storm event.
- Wherever possible, maintain existing vegetative cover. Use non-vegetative material including mulch, erosion blankets, or stone to control erosion from disturbed areas.
- All erosion and sediment control measures shown shall be maintained throughout construction. An installed practice shall not be removed until the area of the Work contributing runoff to the practice has been completed and stabilized, or until sufficient additional measures have been installed to provide proper protection to the site and surrounding area from erosion and sedimentation.

General Site Demolition Notes

- Removal of existing concrete and asphalt pavement indicated on plans shall include all aggregate base and Subgrade materials. Sawcut all existing paved areas to be removed. All cuts shall be clean, neat and true to line. Where plant material is proposed to replace removed concrete and asphalt, Contractor shall remove all non-organic or toxic matter that would interfere with proposed plant material. Contractor shall dispose of excavated material off-site at approved disposal sites only, unless shown otherwise.
- Demolish and completely remove from site, existing underground utilities indicated to be removed. Coordinate with Utility Companies and Owner for shut-off services, if lines are active. Any Damage to existing utility lines shall be repaired at the expense of the contractor.
- All underground utilities or structures in proposed pavement or building areas requiring removal shall be backfilled completely with approved engineered granular material suitable to the Architect.
- Refer to all other series drawings for site demolition work to be performed by other contractors.
- Contractor shall be responsible for the protection of existing trees and shrubs designated to remain within the Limits of Construction to the extent of the drip lines. Existing trees shall be fenced off and no materials or heavy equipment shall encroach fenced areas during demolition and construction.
- Contractor shall remove and dispose of all debris in a legal manner.
- Contractor shall maintain dust control with water at all times. Meter installation and water costs are the responsibility of the Contractor.
- The use of explosives is prohibited on this project.
- Catch basins, sewer inlets, etc. are to be protected from debris and sedimentation during demolition. Install filter fabric under any inlet castings on or off site that receive storm water from the site before any demolition or earthwork activities commence.
- Verify all trees to be removed with the Architect in field prior to felling.
- If any discrepancies occur between Contract Documents and site condition during demolition, contact Architect immediately.

General Utility Notes

- All known utility locations are approximate. The Contractor shall be responsible for determining the exact location of the existing utilities (public and private) and repairing any damage done to the utilities during probing or construction. To obtain field locations of existing underground utilities, call Indiana Underground Cable locations 1.800.382.5544 / 811 and a private utility locate company.
- The contractor shall notify all appropriate utility companies at least 48 hours prior to the commencement or resumption of work that could potentially disrupt the respective utility service of infrastructure.
- Unless noted otherwise, the contractor is responsible for the relocation of all existing utilities which are in conflict with the proposed site improvements.
- Contractor shall coordinate with Utility Companies for the relocation of utilities on site or crossing the site to service adjacent properties. Do not interrupt existing utilities serving facilities occupied and used by Owner or others, during occupied hours, except when permitted.
- Coordinate all utilities with all other series drawings.
- All costs incurred in coordination of all new utility services shall be the responsibility of the Contractor.
- All connections to existing utilities shall be verified with the Architect and coordinated with respective Utility prior to beginning Work.
- A layer of filter fabric shall be placed under each inlet casting during the construction period.
- Maintain 10 feet (horizontal) and 18 inches (vertical) separation between water mains and storm/sanitary sewers. This measurement shall be outside to outside of pipes.

General Site Staking and Layout Notes

- Do not scale drawing for determining exact layout information.
- Contractor shall stake and verify all dimensions in field prior to initiation of any construction. Review any discrepancies immediately with the Architect for resolution.
- All layout components shall be staked out in the field by the Contractor. Obtain Architect approval before starting construction.
- All dimensions in curbed areas shall be to face of curb. All dimensions in areas without curbing shall be to edge of pavement. All dimensions at integral curb and walk shall be to face of curb. All dimensions from building shall be from face of building.
- All dimensions are parallel and perpendicular to base lines, property lines or building lines unless otherwise noted.
- All radii indicated shall be formed as circular arcs. All curves and arcs shall intersect other curves and lines at points of tangency to form smooth transitions unless clearly shown otherwise.
- Where not shown, sidewalk and retaining wall expansion joints shall be 30'-0" O.C. and control joints 5'-0" O.C. maximum spacing. Curb expansion joints shall be 50'-0" O.C. and control joints shall align with adjacent sidewalk where applicable, otherwise 5'-0" maximum spacing shall be used.
- All walks shall receive medium broom-swept finish perpendicular to direction of traffic flow unless otherwise noted. Coordinate junctions with Landscape Architect/Engineer in field, unless otherwise noted.
- Accessible ramps and signage shall be in accordance with Federal, State, County, City, and Local codes whichever has jurisdiction. See Site Plans for locations and Site Details for specifications.

Abbreviations

ACCEL	acceleration
AD#	addendum
ADJ	adjacent
ALT	alternate
APRX	approximately
A-SERIES	architectural
CAL	caliper
CE	civil engineer
CIP	cast-in-place
CJ	control joint
CL	center line
CLR	clear
CMU	concrete masonry unit
CONC	concrete
DECEL	deceleration
DENO	demolition
DET	detail
DIA	diameter
EJ	expansion joint
EL	elevation
EQ	equal distance
E-SERIES	electrical
FFE	finish floor elevation
FOW	face of wall
FT	foot
GA	gauge
HT	height
HDPE	high-density polyethylene
HORIZ	horizontal
IN/ LN FT	inches per linear foot
ID	inside diameter/ dimension
INV	invert
LA	landscape architect
MAX	maximum
MED	medium
MFG	manufacturer
MIN	minimum
MH	manhole
M-SERIES	mechanical
N/A	not applicable
OA	overall
OC	on center
OD	outside diameter
PED	pedestrian
PERP	perpendicular
POB	point of beginning
PVC	polyvinyl chloride
R	radius
RCP	reinforced concrete pipe
REF	reference
REINF	reinforcing
REQD	required
ROW	right-of-way
SAN	sanitary
SHT	sheet
SIM	similar
SLCPP	smooth lined corrugated plastic pipe
SPECS	specifications
SQ	square
STRM	storm sewer
STRUCT	structure
S-SERIES	structural
THK	thick
TBS	to be selected
TYP	typical
T-SERIES	telecommunications
VERT	vertical
VIF	verify in field
W	width
W/	with
W/O	without
WWF	woven wire fabric
WWM	woven wire mesh

Symbol Legend

TITLE MARK	1A VIEW NAME
DEMOLITION NOTE	Scale
PLAN NOTE	7 ACE-FR
PLANT TAG	N
NORTH ARROW	N
ELEVATION TARGET	767.30
PROPOSED CONTOUR	765
PROPOSED SPOT ELEVATION NOTE AND MARK	767.30
TOP OF CURB	TC 765.75
EDGE OF PAVEMENT	EP 765.25
TOP OF CURB RIM	TC 765.75 RIM 765.25
MATCH EXISTING ELEVATION	ME
STORM STRUCTURE NUMBER	ST-12
SANITARY SEWER STRUCTURE NUMBER	SS-03
COORDINATE REFERENCE POINT	N: 4489.33 E: 5876.22
REVISION CLOUD	

General Site Grading and Drainage Notes

- Contractor shall verify all existing grades in field and report any discrepancies immediately to the Architect.
- Contractor shall provide positive drainage in all areas. Paving Contractor shall test for any ponding conditions after installation and correct. See specifications.
- Contractor shall coordinate all earth moving activities with all existing and new utilities. Verify cover requirements with Utility Contractors and/or Utility Companies so not to cause damage.
- Contractor shall stabilize all earthen areas disturbed during construction.
- Contractor shall stabilize any stockpiled topsoil against erosion within 15 days of stockpiling.
- Provide smooth transition from new areas to existing features as necessary.
- Prior to finish grading, Contractors shall maintain all water draining off site consistent with Drawings. No water shall be diverted onto adjoining properties during any part of the grading process.

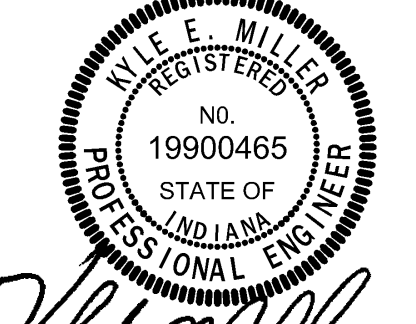
General Traffic Control Notes

- All signs, standards, and barricades shall conform to INDOT Standard Detail Sheets and the Indiana Manual on Uniform Traffic Control Devices.
- It is the responsibility of the Contractor to coordinate planned construction activities with all Highway Departments and Street Departments prior to construction.
- If construction activities are expected to disrupt normal off-site traffic flow, the Contractor shall be responsible for coordinating with all Highway Departments and Street Departments and prepare all maintenance of traffic plans as required.
- Normal site traffic circulation to be maintained during construction. Contractor to erect barricades as needed to protect construction area from normal traffic patterns around the existing facilities.
- If existing traffic circulation patterns around existing facilities must be disrupted or blocked, Contractor shall submit a traffic plan and obtain written approval from Architect before proceeding.



SCHMIDT ASSOCIATES
schmidt-arch.com • 317.263.6226
415 Massachusetts Ave., Indianapolis, IN 46204
731 Brent St. #203, Louisville, KY 40204

Project No.	2021-036.GAH
Project Date	01.08.2026
Produced	SG



Kyle C. Miller

These Drawings and Specifications, and all copies thereof are and shall remain the property and copyright of the Architect. They shall be used only with respect to this Project and are not to be used on any other Project or Work without prior written permission from the Architect.

#	Revision	Date

3705 IN-16
Brook, IN 47922

NEWTON COUNTY BOARD OF COMMISSIONERS

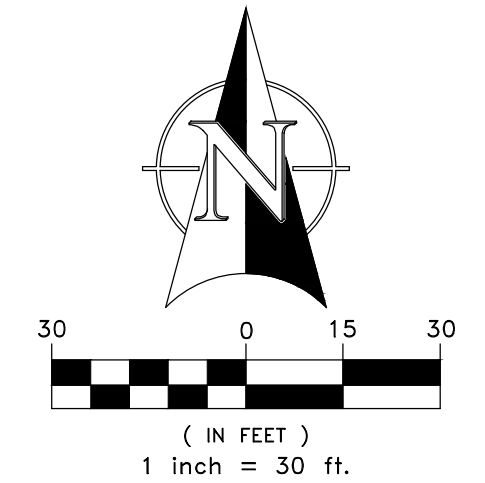
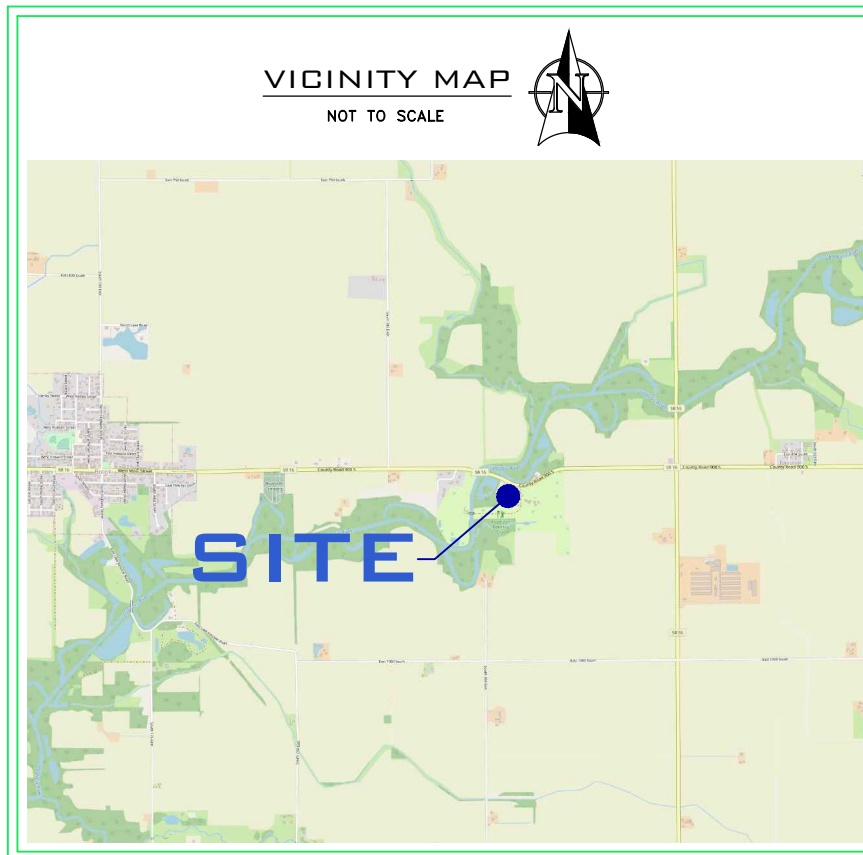
HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

SITE GENERAL NOTES AND ABBREVIATIONS
C-001.3



Know what's below.
Call before you dig.

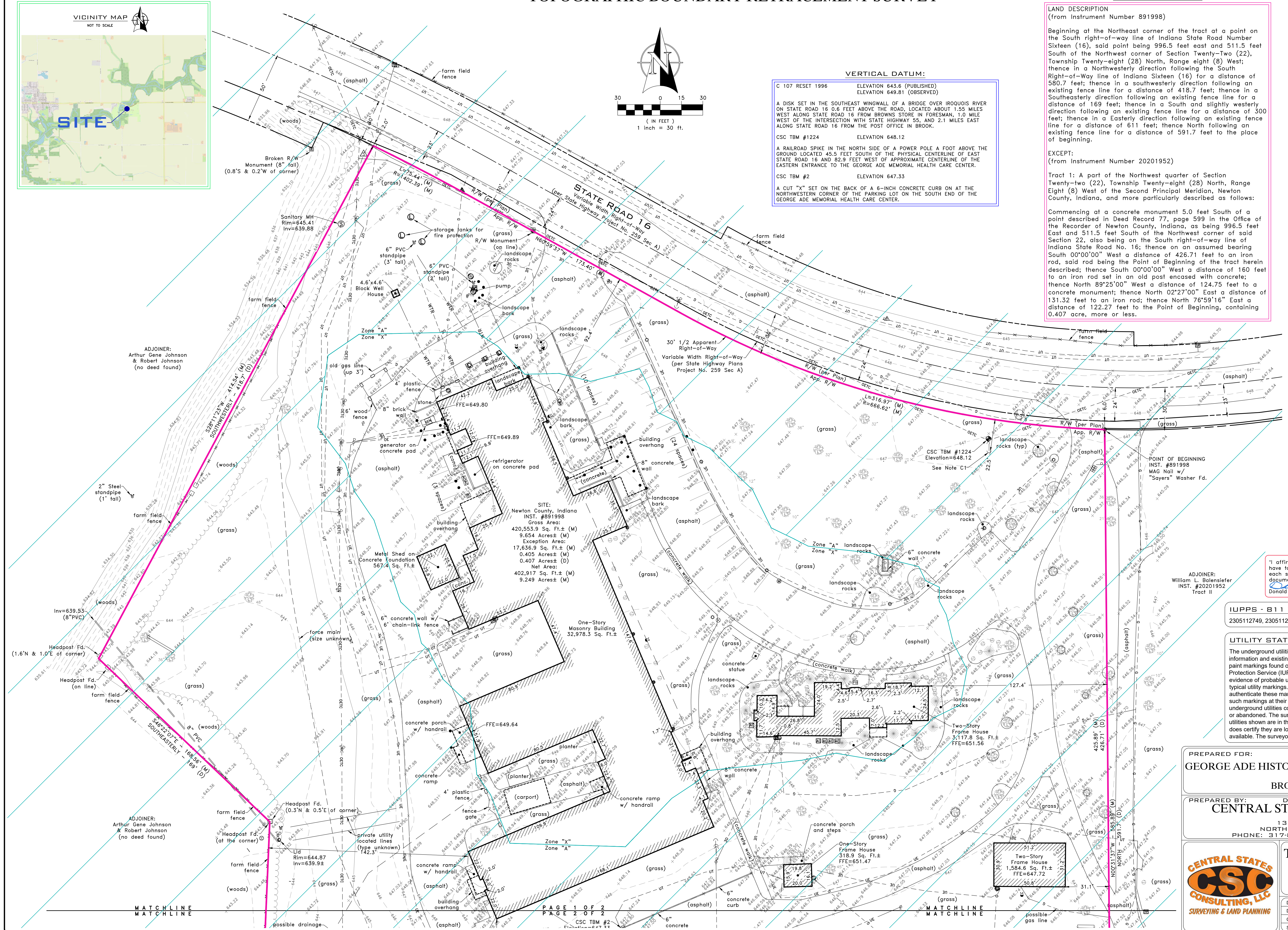
TOPOGRAPHIC BOUNDARY RETRACEMENT SURVEY



VERTICAL DATUM:
 C 107 RESET 1996 ELEVATION 643.6 (PUBLISHED)
 ELEVATION 649.81 (OBSERVED)
 A DISK SET IN THE SOUTHEAST WINGWALL OF A BRIDGE OVER IROQUOIS RIVER ON STATE ROAD 16 0.6 FEET ABOVE THE ROAD, LOCATED ABOUT 1.55 MILES WEST ALONG STATE ROAD 16 FROM BROWNS STORE IN FORESMAN, 1.0 MILE WEST OF THE INTERSECTION WITH STATE HIGHWAY 55, AND 2.1 MILES EAST ALONG STATE ROAD 16 FROM THE POST OFFICE IN BROOK.
 CSC TBM #1224 ELEVATION 648.12
 A RAILROAD SPIKE IN THE NORTH SIDE OF A POWER POLE A FOOT ABOVE THE GROUND LOCATED 45.5 FEET SOUTH OF THE PHYSICAL CENTERLINE OF EAST STATE ROAD 16 AND 82.9 FEET WEST OF APPROXIMATE CENTERLINE OF THE EASTERN ENTRANCE TO THE GEORGE ADE MEMORIAL HEALTH CARE CENTER.
 CSC TBM #2 ELEVATION 647.33
 A CUT "X" SET ON THE BACK OF A 6-INCH CONCRETE CURB ON AT THE NORTHWESTERN CORNER OF THE PARKING LOT ON THE SOUTH END OF THE GEORGE ADE MEMORIAL HEALTH CARE CENTER.

LAND DESCRIPTION
 (from Instrument Number 891998)
 Beginning at the Northeast corner of the tract at a point on the South right-of-way line of Indiana State Road Number Sixteen (16), said point being 996.5 feet east and 511.5 feet South of the Northwest corner of Section Twenty-Two (22), Township Twenty-eight (28) North, Range eight (8) West; thence in a Northwesterly direction following the South Right-of-Way line of Indiana Sixteen (16) for a distance of 580.7 feet; thence in a southwesterly direction following an existing fence line for a distance of 418.7 feet; thence in a Southeastery direction following an existing fence line for a distance of 169 feet; thence in a South and slightly westerly direction following an existing fence line for a distance of 300 feet; thence in an Easterly direction following an existing fence line for a distance of 611 feet; thence North following an existing fence line for a distance of 591.7 feet to the place of beginning.
 EXCEPT:
 (from Instrument Number 20201952)
 Tract 1: A part of the Northwest quarter of Section Twenty-two (22), Township Twenty-eight (28) North, Range Eight (8) West of the Second Principal Meridian, Newton County, Indiana, and more particularly described as follows:
 Commencing at a concrete monument 5.0 feet South of a point described in Deed Record 77, page 599 in the Office of the Recorder of Newton County, Indiana, as being 996.5 feet East and 511.5 feet South of the Northwest corner of said Section 22, also being on the South right-of-way line of Indiana State Road No. 16; thence on an assumed bearing South 00°00'00" West a distance of 426.71 feet to an iron rod, said rod being the Point of Beginning of the tract herein described; thence South 00°00'00" West a distance of 160 feet to an iron rod set in an old post encased with concrete; thence North 89°25'00" West a distance of 124.75 feet to a concrete monument; thence North 02°27'00" East a distance of 131.32 feet to an iron rod; thence North 76°59'16" East a distance of 122.27 feet to the Point of Beginning, containing 0.407 acre, more or less.

LEGEND:	
SYMBOL	DESCRIPTION:
(Symbol)	SIGN / TWO POST SIGN
(Symbol)	WATER VALVE/FIRE HYD/METER
(Symbol)	TELE/FIBER OPTIC/GAS MARKER
(Symbol)	GAS METER / VALVE
(Symbol)	CLEAN-OUT
(Symbol)	ELEC. METER BOX/TRANSFORMER
(Symbol)	ELEC. / TELEPHONE PEDESTAL
(Symbol)	GUARD POST/POST WITH LIGHT
(Symbol)	AIR CONDITIONER / GENERATOR
(Symbol)	MAGNAIL SET/FOUND
(Symbol)	REBAR SET/FOUND
(Symbol)	SQUARE / ROUND / CURB INLET
(Symbol)	TRAFFIC/COMBO/ POWER POLE
(Symbol)	LIGHT POLE - SQUARE / ROUND
(Symbol)	CONIFEROUS TREE & SIZE
(Symbol)	DECIDUOUS TREE & SIZE
(Symbol)	DRAINAGE /SANITARY MANHOLE
(Symbol)	COMBINATION/MISC. LID MANHOLE
(Symbol)	BEEHIVE ROUND/SQUARE INLET
(Symbol)	GUY WIRE / ROUND LIGHT
(Symbol)	UNDG. WATER LINE
(Symbol)	UNDG. GAS LINE
(Symbol)	UNDG. TELEPHONE LINE
(Symbol)	UNDG. ELECTRIC LINE
(Symbol)	OVERHEAD ELE. & TEL
(Symbol)	OVERHEAD ELE TEL & CAB
(Symbol)	OVERHEAD ELECTRIC
(Symbol)	vitrified clay pipe
(Symbol)	reinforced concrete pipe
(Symbol)	polyethylene coated pipe
(Symbol)	high-density polyethylene pipe
(Symbol)	ductile iron pipe



"I affirm, under penalties for perjury, I have taken reasonable care to reduce each social security number in this document, unless required by law."
 Donald R. Mossan

IUPPS - B11 TICKET REQUEST NUMBER(S):
 2305112749, 2305112779

UTILITY STATEMENT:
 The underground utilities shown have been located from field survey information and existing drawings. Field survey information consisting of point markings found on the ground per the Indiana Underground Plant Protection Service (IUPPS - 811). The point markings shown herein as evidence of probable underground utility locations and are consistent with typical utility markings. However, no utility report was provided to authenticate these markings. The user of this plat/map should rely upon such markings at their own risk. The surveyor makes no guarantees the underground utilities comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant the underground utilities shown are in the exact location indicated, although the surveyor does certify they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

PREPARED FOR:
 GEORGE ADE HISTORIC PRESERVATION COMMISSION
 P.O. BOX 93
 BROOK, INDIANA 47922

PREPARED BY: DONALD R. MOSSAN
CENTRAL STATES CONSULTING, LLC
 13 WEST PEARL STREET
 NORTH SALEM, INDIANA 46165
 PHONE: 317-858-8662 FAX: 317-342-2857



TOPOGRAPHIC BOUNDARY RETRACEMENT SURVEY
 3623 STATE ROAD 16
 BROOK, INDIANA 47922

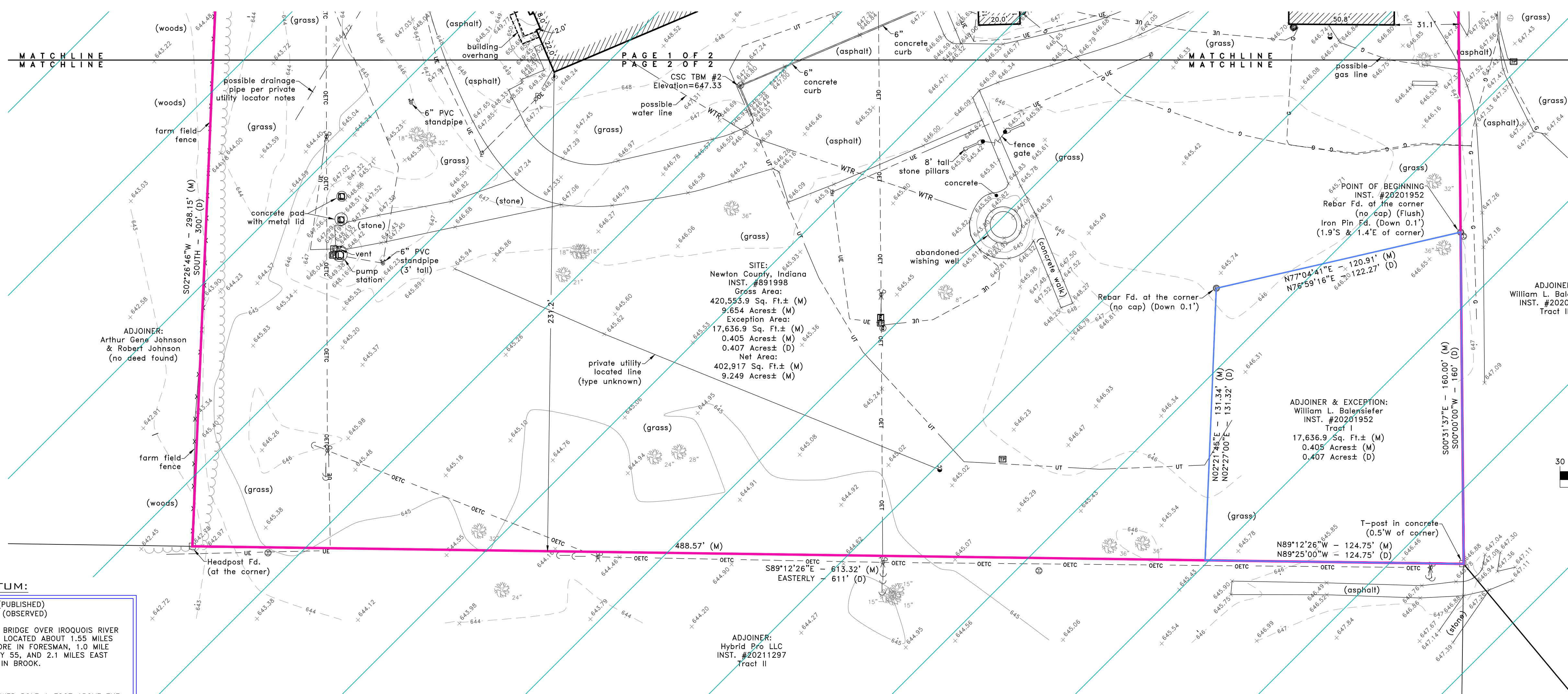
DATE: 06-12-2023 PROJECT NUMBER: 23-029
 DWN. BY: JLM SHEET 1 OF 2
 CHKD. BY: DRM
 SCALE: 1" = 30'

MATCHLINE

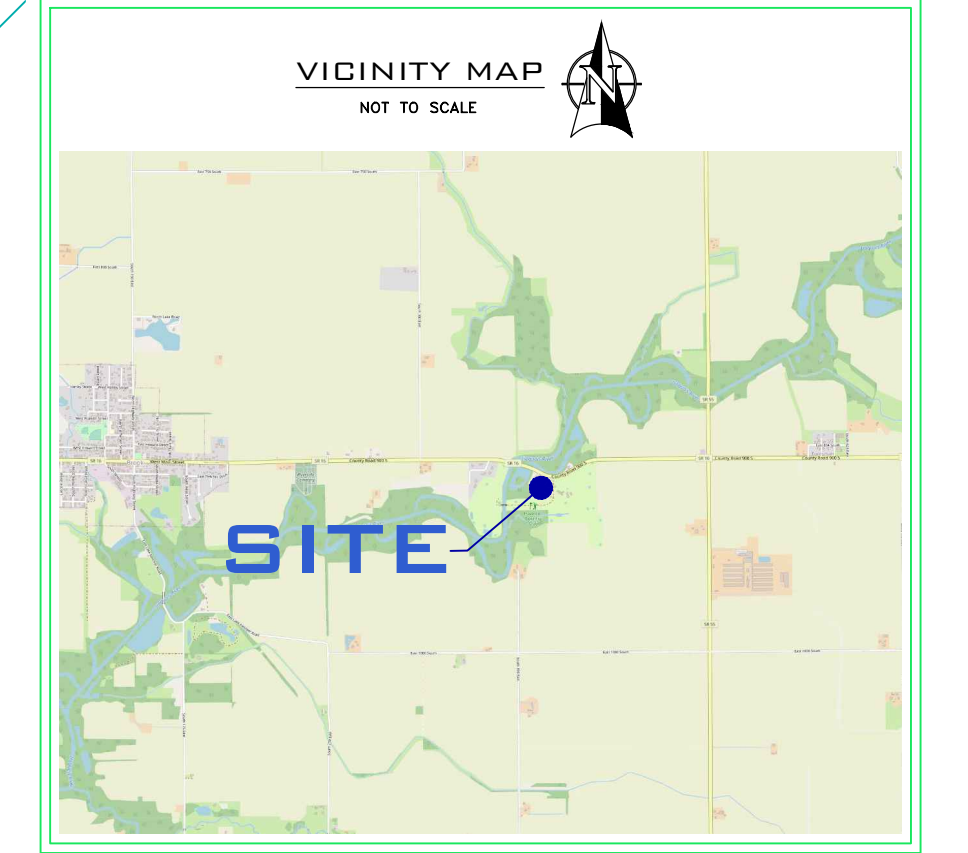
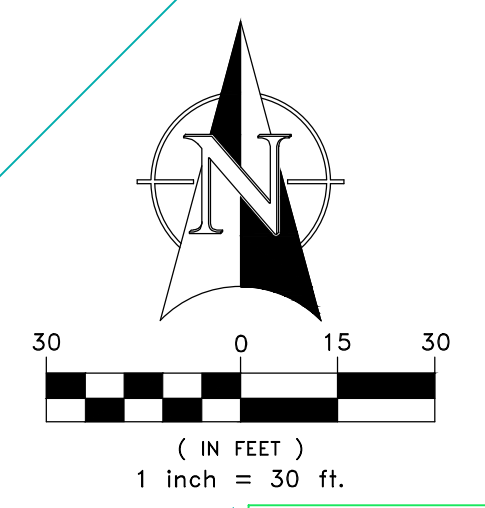
PAGE 1 OF 2
 PAGE 2 OF 2

MATCHLINE

TOPOGRAPHIC BOUNDARY RETRACEMENT SURVEY



LEGEND:	
— / —	DESCRIPTION:
— / —	SIGN / TWO POST SIGN
— / —	WATER VALVE/FIRE HYD/METER
— / —	TELE/FIBER OPTIC/GAS MARKER
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— / —	TRAFFIC/COMBO/ POWER POLE
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— / —	GUY WIRE / GROUND LIGHT
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— / —	OVERHEAD ELE. & TEL
— / —	OVERHEAD ELE TEL & CAB
— / —	OVERHEAD ELECTRIC
— / —	VCP
— / —	whitified clay pipe
— / —	reinforced concrete pipe
— / —	PVC
— / —	polyethylene coated pipe
— / —	HDPE
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A CUT "X" SET ON THE BACK OF A 6-INCH CONCRETE CURB ON AT THE NORTHWESTERN CORNER OF THE PARKING LOT ON THE SOUTH END OF THE GEORGE ADE MEMORIAL HEALTH CARE CENTER.

SURVEYOR'S REPORT

In accordance with Title 865, Article 1.1, Chapter 12, Sections 1 through 19 of the Indiana Administrative Code, the following observations and opinions are submitted regarding the various uncertainties in the locations of the lines and corners established on this survey as a result of:

- A) Variances in the reference monuments;
- B) Discrepancies in record descriptions and plats;
- C) Inconsistencies in lines of occupation and;
- D) Random errors in measurement (Relative Positional Accuracy)

There may be unwritten rights associated with these uncertainties. The client should assume there is an amount of uncertainty along any line equal in magnitude to the discrepancy in the location of the lines of possession from the surveyed lines.

There may be differences of deed dimensions versus measured dimensions along the boundary lines shown hereon and, likewise, there may be found survey markers near, but not precisely at, some boundary corners, in cases where the magnitude of these differences are less than the Relative Positional Accuracy stated below and less than the uncertainty identified for the reference monumentation (discussed below), the differences may be considered insignificant and are shown only for purposes of mathematical closure. Such differences that are greater than the Relative Positional Accuracy and the uncertainty in reference monumentation should be considered worthy of notice and are therefore further discussed below.

This survey and report are based in part upon opinions formed in accordance with an Indiana Land Surveyor's responsibility to conduct a survey in accordance with "law or a precedent" (865 IAC 1-12-11(5), Rules of the Indiana State Board of Registration for Land Surveyors). Since Indiana has no statutes addressing how to resolve boundary lines, a solution based on principles derived from common law precedent must be relied upon as the basis for a boundary resolution.

Unless otherwise noted or depicted hereon, there is no evidence of occupation along the perimeter lines of the subject tract. All survey monuments set or found this survey are flush with existing grade unless otherwise noted.

A.) This is a retracement survey of the tract of land granted to Newton County, Indiana, in the Quit-Claim Deed recorded as Instrument Number 891998 in the Office of the Recorder of Newton County, Indiana. The herein surveyed property is within the Northwest Quarter of Section 22, Township 28 North, Range 8 West of the Second Principal Meridian, Iroquois Township, Newton County, Indiana.

1.) The Northeast Corner of said Section 22 is a Harrison Monument found at the surface. The Northwest Corner of Section 21, Township 28 North, Range 8 West is a Harrison Monument found at the surface. The aforementioned corners were found by references supplied by the Office of the Surveyor of Newton County, Indiana and accepted as prima facie evidence for purposes of this survey and was used to control the lines of the surveyed parcel. The Northwest Corner of said Section 22 was not found nor was there a reference for this corner. The deed for the surveyed property and its adjoiners all call out commencing at this corner. Since there was no corner found or located, the physical evidence of the property was used and held to determine the property lines.

2.) The centerline of State Road 16 was determined per the State Highway Plans, Project No. 259 Sec. A, dated 1931. The variable width right-of-way as determined per said State Highway Plans and is shown and dimensioned herein. The apparent right-of-way was determined as being 30-feet from the centerline of State Road 16 per physical monuments found along said apparent right-of-way line. The northern boundary of the surveyed property was held along said apparent right-of-way line. This is as much as 6.00 feet of uncertainty in the right-of-way line of thus the northern boundary line of the surveyed property. The State Highway Plans reference the Northwest Corner of said Section 21 and the Northeast Corner of said Section 22. This relationship between these two corners was used to determine the bearing of centerline of State Road 16.

B.) Record descriptions of the site were obtained from the Newton County Recorder's Office (latest research date: May 15, 2023) and mathematically retraced for the purpose of disclosing any gaps and/or overlaps between the lines of these surveyed parcels and their adjoiners. The following observations were found:

- 1.) There appear to be no gaps, gorges, or overlaps in the deeds of the surveyed property and its eastern and southern adjoiners. There was no deed found for the western adjoining property, thus I cannot determine whether a

- gap, gorge, or overlap exists between the surveyed property and the western adjoiner.
- 2.) As previously stated, the northern boundary line of the surveyed property was held along the apparent right-of-way line of State Road 16. In the deed this distance along the right-of-way was stated to be 580.7 feet. I have measured the combined distances along the apparent right-of-way to be 565.81 feet, causing a discrepancy of 14.89 feet.
- 3.) The northernmost western boundary line of the surveyed property is described as being 418.7 feet along a fence line. I have measured this line to be 414.54 feet along remnants of a farm field fence, causing a discrepancy of 4.16 feet. The distance along this line from the variable width right-of-way line is 416.57 feet.
- 4.) The western boundary line of the surveyed property is described as being 169 feet along a fence line. I have measured this line to be 168.56 feet along a farm field fence, causing a discrepancy of 0.44 feet.
- 5.) The southernmost western boundary line of the surveyed property is described as being 300 feet along a fence line. I have measured this line to be 298.15 feet along a farm field fence, causing a discrepancy of 1.85 feet.
- 6.) The southern line of the surveyed property is described as being 611 feet along a fence line. I have measured this line to be 613.32 feet between a headpost on the western end and passing through a T-post in concrete near the eastern end. There is no longer a fence along this line at the time of the survey.
- 7.) The eastern boundary line of the surveyed property is described as being 591.7 feet along a fence line. I have measured this line to be 585.89 feet, causing a discrepancy of 5.81 feet. The location of this line was held per existing monumentation found along said line, a rebar found with no cap at the northeastern corner of the 0.407-acre tract and a MAG nail with a "Sayers" washer found on the apparent right-of-way line of State Road 16. The 5.81-foot discrepancy in this line appears to come from the 6.00-foot uncertainty in the location of the right-of-way line along State Road 16.

- C.) A significant inconsistency in the lines of occupation was observed during this survey.
 - 1.) There is a power pole with a guy wire and an overhead electric, telephone, and cable line encroaching as much as 22.5 feet onto the surveyed property, as shown herein. I have not been provided with an easement to allow this encroachment.

D) The Relative Positional Accuracy (Due to Random Errors in Measurement) of the corners of the subject tract established by this survey is within the specifications for an Urban Survey (0.07 feet + 50 ppm) as defined in IAC 865.

As a result of the above observations, it is my opinion that the uncertainties in the locations of the lines and corners established on this survey are as follows:

- Due to variances in reference monuments: 6.00 feet;
- Due to discrepancies in the record description: 14.89 feet;
- Due to inconsistencies in lines of occupation: 22.5 feet;
- Due to random errors in measurement: 0.07 feet +/- 50 ppm

Mailing Address of Site: 3623 East State Road 16, Brook, Indiana 47922

Basis of Bearing System: The bearing of the North Line of Section 21, Township 28 North, Range 8 West and the North Line of Section 22, Township 28 North, Range 8 West is North 89 degrees 47 minutes 53 seconds East based upon GPS observations taken at the time of the survey in Indiana State Plane, West Zone, NAD83.

NOTE: This plat of a Boundary Retracement Survey represents the conditions at the date of latest field activity.

NOTE: According to the FEDERAL EMERGENCY MANAGEMENT AGENCY, Flood Insurance Rate Map Number 18111C0280D with an effective date of December 16, 2014, this site lies within Zone "A" (Special flood hazard areas without base flood elevations), and Zone "X" (Areas of 500-year flooding, areas of 100-year flood with average depths of less than 1 foot or with drainage areas of less than 1 square mile; and areas protected by levees from 100-year flood).

Date of Latest Field Activity: May 19, 2023

This Survey was performed without reference to a title company, and it may or may not reveal all of the facts associated with the site.

There are no: (i) encroachments upon the subject property by improvements on adjacent property; (ii) encroachments on adjacent

property, streets or alleys by improvements on the subject property; (iii) no party walls; or (iv) no visible and apparent conflicts or protrusions except as shown herein.

I hereby certify to George Ade Historic Preservation Commission that this survey was conducted under my direct supervision and that, to the best of my knowledge and belief, conforms to the requirements contained within Title 865, Article 1, Chapter 12, of the Indiana Administrative Code for a RETRACEMENT SURVEY.

Date: June 8, 2023

Donald R. Mossion
Donald R. Mossion
State of Indiana
Professional Surveyor No. 9600013



"I affirm, under penalties for perjury, I have taken reasonable care to read each social security number in this document, unless required by law."
Donald R. Mossion

IUPPS - B11 TICKET REQUEST NUMBER(S):
2305112749, 2305112779

UTILITY STATEMENT:
The underground utilities shown have been located from field survey information and existing drawings. Field survey information consisting of paint markings found on the ground per the Indiana Underground Plant Protection Service (IUPPS - 811). The paint markings shown hereon as evidence of probable underground utility locations and are consistent with typical utility markings. However, no utility report was provided to authenticate these markings. The user of this plat/map should rely upon such markings at their own risk. The surveyor makes no guarantees the underground utilities comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant the underground utilities shown are in the exact location indicated, although the surveyor does certify they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

PREPARED FOR:
GEORGE ADE HISTORIC PRESERVATION COMMISSION
P.O. BOX 93
BROOK, INDIANA 47922

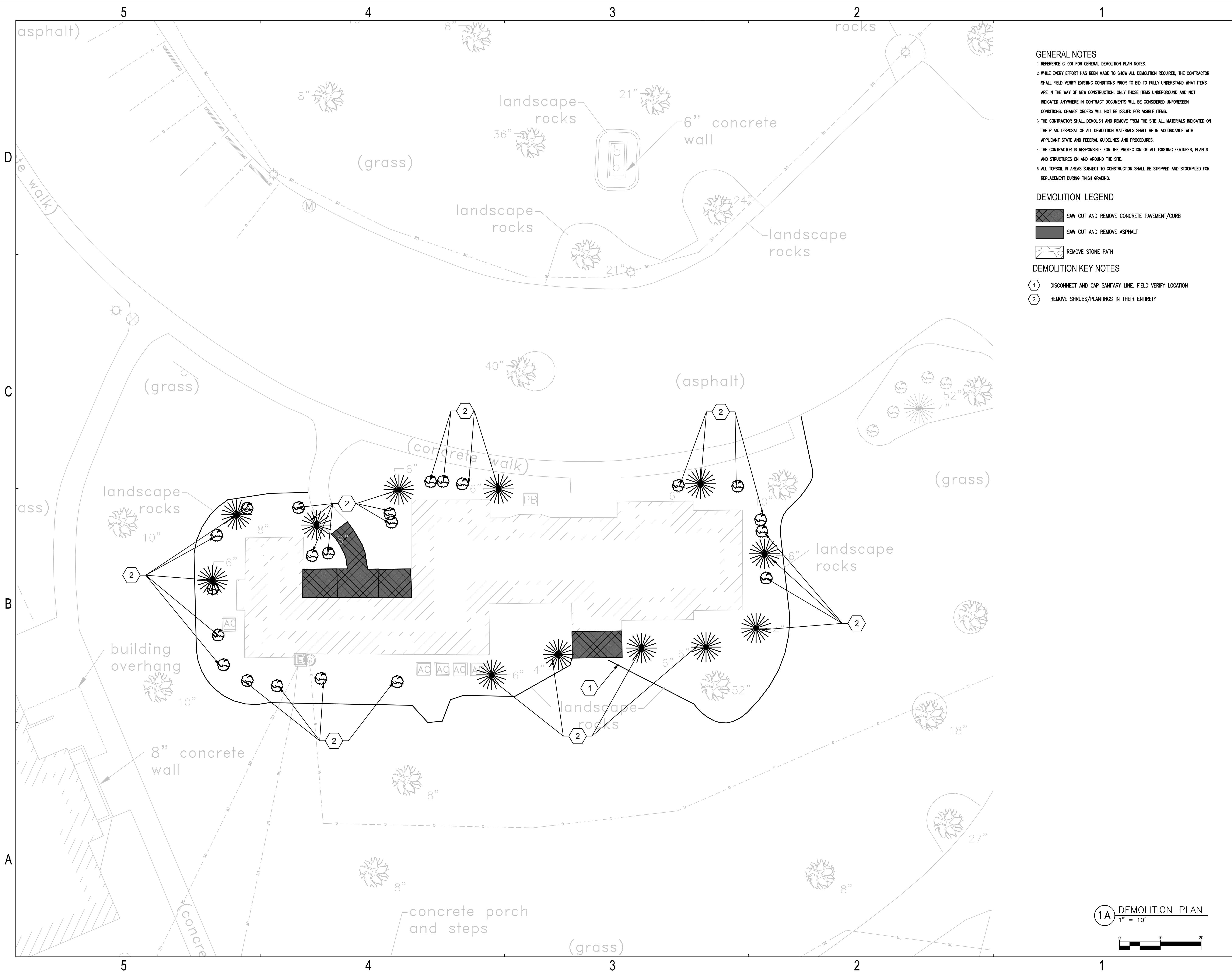
PREPARED BY: DONALD R. MOSSION
CENTRAL STATES CONSULTING, LLC
P.O. BOX 4
13 WEST PEARL STREET
NORTH SALEM, INDIANA 46165
PHONE: 317-858-8662 FAX: 317-342-2857

CENTRAL STATES CONSULTING, LLC
SURVEYING & LAND PLANNING

TOPOGRAPHIC BOUNDARY RETRACEMENT SURVEY
3623 STATE ROAD 16
BROOK, INDIANA 47922

DATE: 06-12-2023
DWN BY: JLM
CHKD BY: DRM
SCALE: 1" = 30'

PROJECT NUMBER: 23-029
SHEET 2 OF 2



GENERAL NOTES

1. REFERENCE C-001 FOR GENERAL DEMOLITION PLAN NOTES.
2. WHILE EVERY EFFORT HAS BEEN MADE TO SHOW ALL DEMOLITION REQUIRED, THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO BID TO FULLY UNDERSTAND WHAT ITEMS ARE IN THE WAY OF NEW CONSTRUCTION. ONLY THOSE ITEMS UNDERGROUND AND NOT INDICATED ANYWHERE IN CONTRACT DOCUMENTS WILL BE CONSIDERED UNFORESEEN CONDITIONS. CHANGE ORDERS WILL NOT BE ISSUED FOR VISIBLE ITEMS.
3. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL MATERIALS INDICATED ON THE PLAN. DISPOSAL OF ALL DEMOLITION MATERIALS SHALL BE IN ACCORDANCE WITH APPLICANT STATE AND FEDERAL GUIDELINES AND PROCEDURES.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FEATURES, PLANTS AND STRUCTURES ON AND AROUND THE SITE.
5. ALL TOPSOIL IN AREAS SUBJECT TO CONSTRUCTION SHALL BE STRIPPED AND STOCKPILED FOR REPLACEMENT DURING FINISH GRADING.

DEMOLITION LEGEND

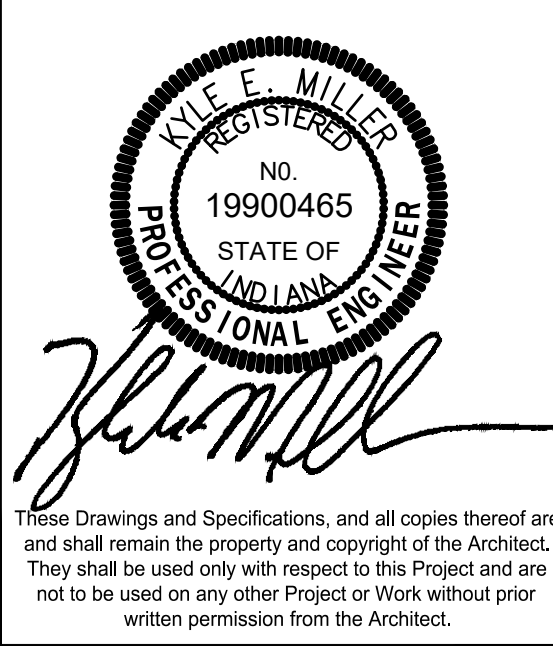
- SAW CUT AND REMOVE CONCRETE PAVEMENT/CURB
- SAW CUT AND REMOVE ASPHALT
- REMOVE STONE PATH

DEMOLITION KEY NOTES

- DISCONNECT AND CAP SANITARY LINE. FIELD VERIFY LOCATION
- REMOVE SHRUBS/PLANTINGS IN THEIR ENTIRETY



Project No. 2021-036.GAH
 Project Date 01.08.2026
 Produced TP



#	Revision	Date

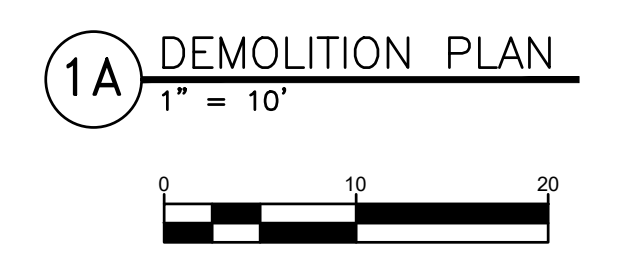
3705 IN-16
 Brook, IN 47922

KEY PLAN

NEWTON COUNTY
 BOARD OF
 COMMISSIONERS

HAZELDEN ESTATE
 RESTORATION -
 HOUSE
 RESTORATION -
 BID PACKAGE 3

DEMOLITION PLAN
 CD101.3



5

4

3

2

1

D

C

B

A

5

4

3

2

1

GENERAL LAYOUT NOTES

1. REFERENCE C-001 FOR GENERAL LAYOUT PLAN NOTES.
2. NORTHING AND EASTING COORDINATES ARE STATE PLANE COORDINATES BASED ON A TOPOGRAPHIC SURVEY. REFER TO SURVEY DRAWINGS FOR HORIZONTAL CONTROL POINT DATA.
3. ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS.

HOUSE RESTORATION LAYOUT LEGEND

 STANDARD DUTY CONCRETE. SEE DETAIL 1A/CL501.3 AND SPECS

HOUSE RESTORATION LAYOUT NOTES

Key	Note
1	EXISTING BENCH TO BE RELOCATED TO HERE
2	HANDRAIL



Project No. 2021-036.GAH
 Project Date 01.08.2026
 Produced SG/CF



These Drawings and Specifications, and all copies thereof are and shall remain the property and copyright of the Architect. They shall be used only with respect to this Project and are not to be used on any other Project or Work without prior written permission from the Architect.

#	Revision	Date
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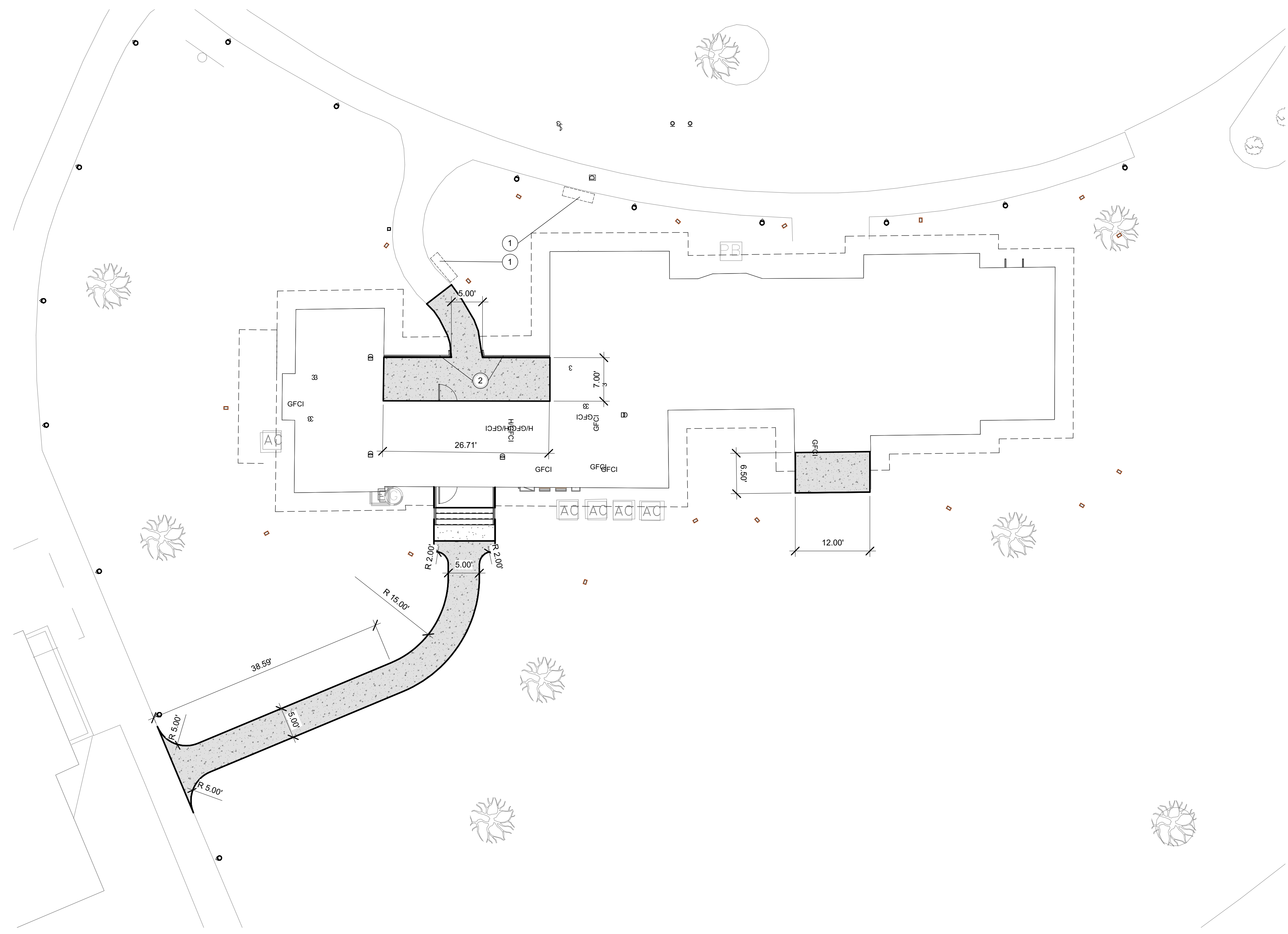
#	Revision	Date

3705 IN-16
 Brook, IN 47922

NEWTON COUNTY BOARD OF COMMISSIONERS

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

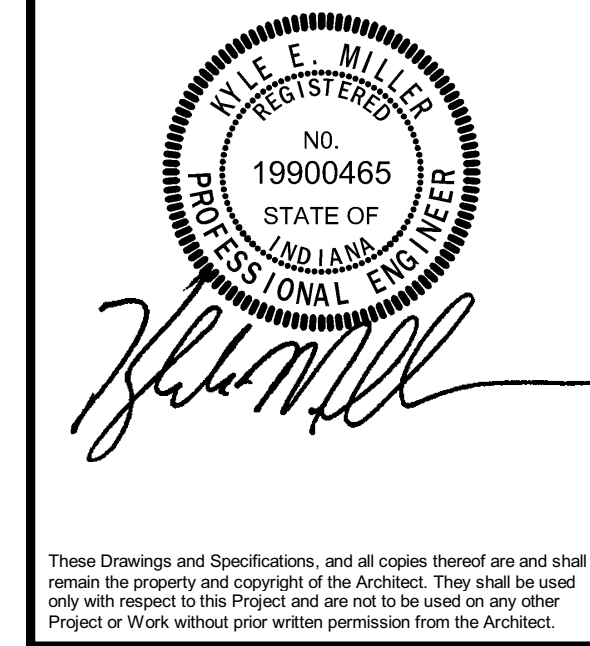
SITE LAYOUT PLAN HOUSE RESTORATION CL101.3



1 HOUSE RESTORATION SITE LAYOUT PLAN
 1" = 10'-0"



Project No. 2021-036.GAH
 Project Date 01.08.2026
 Produced SG/CF



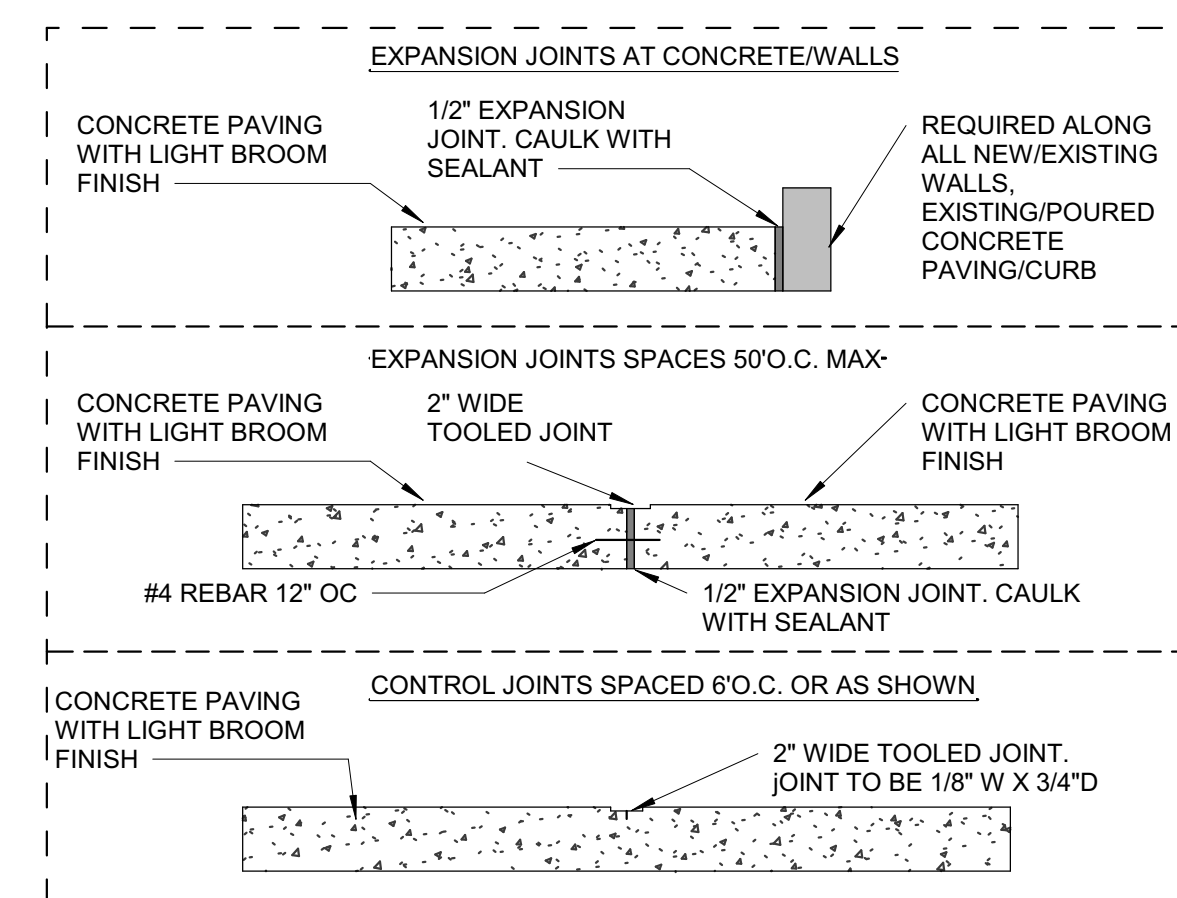
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3705 IN-16
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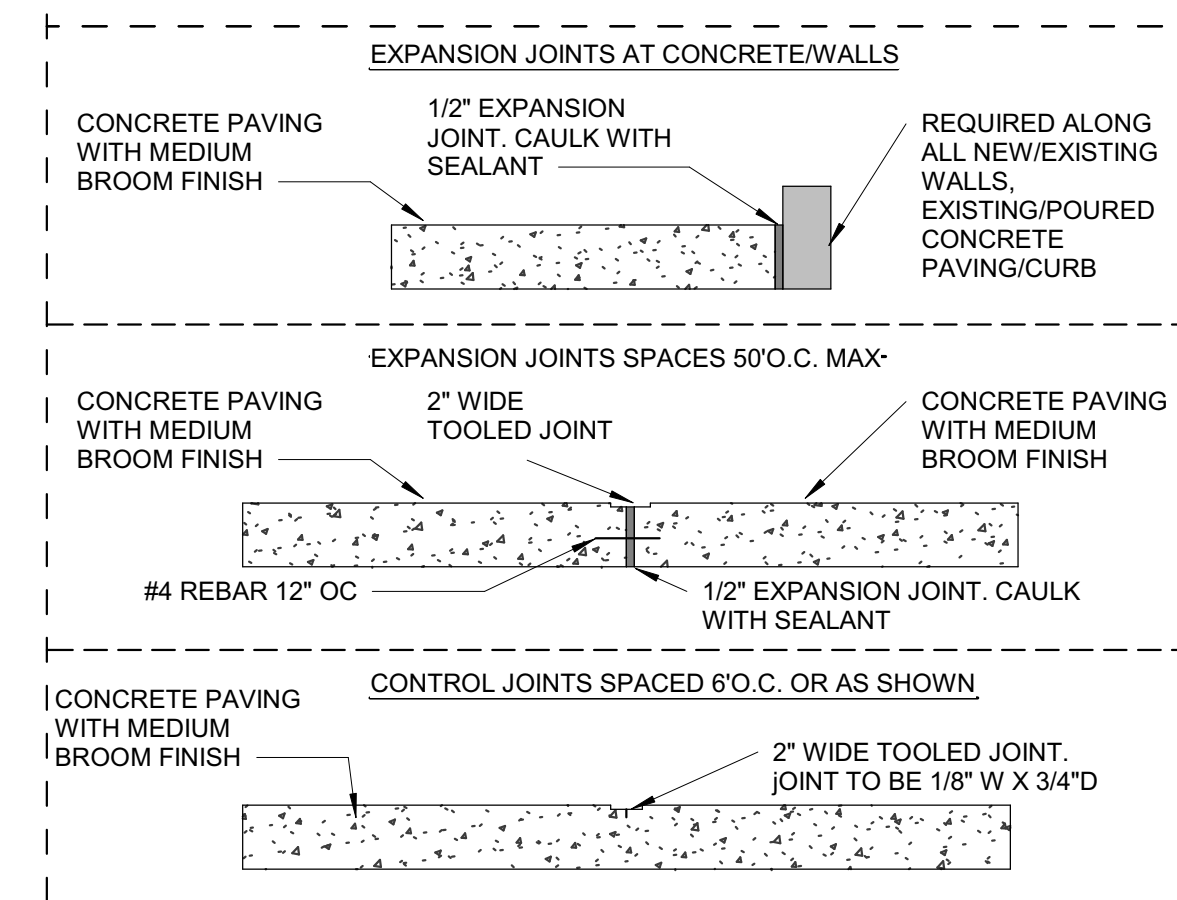
NEWTON COUNTY BOARD OF COMMISSIONERS

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

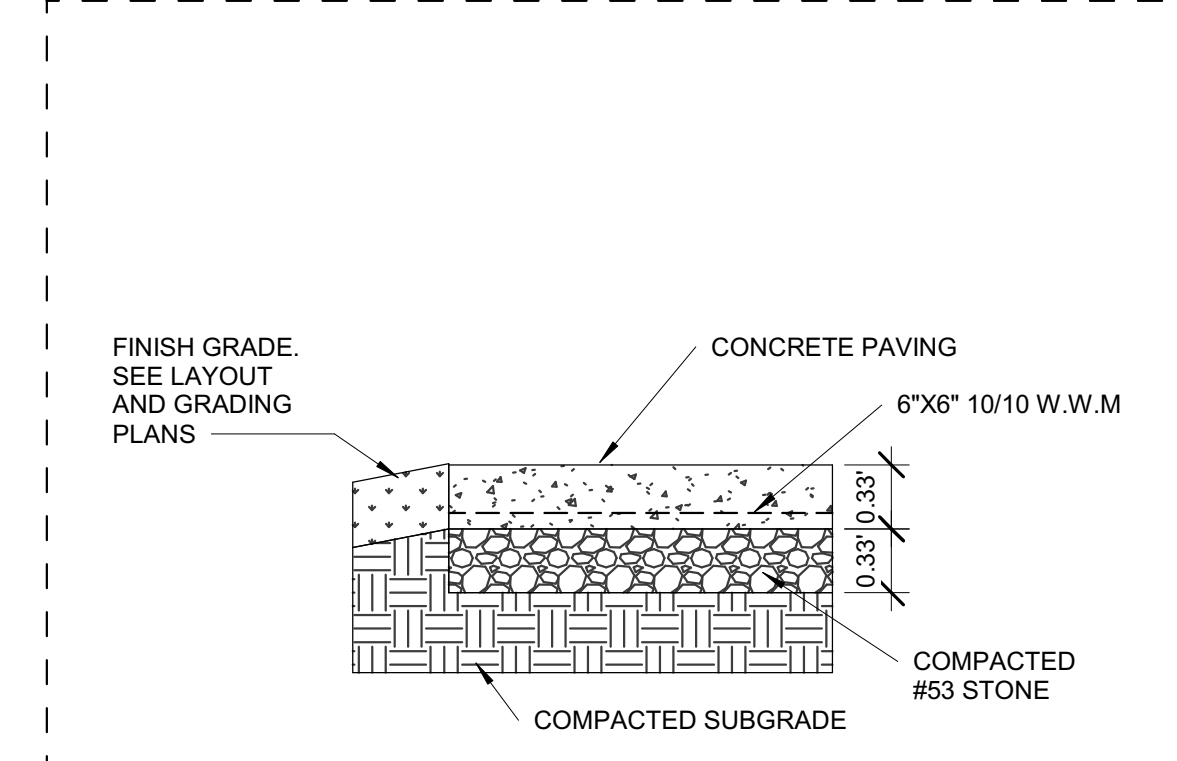
HOUSE RESTORATION DETAILS
CL501.3



1C CONCRETE- JOINTS AND LIGHT BROOM FINISH
 1" = 1'-0"



1B CONCRETE- JOINTS AND MEDIUM BROOM FINISH
 1" = 1'-0"



1A STANDARD CONCRETE PAVING
 1" = 1'-0"

D
C
B
A

5

4

3

2

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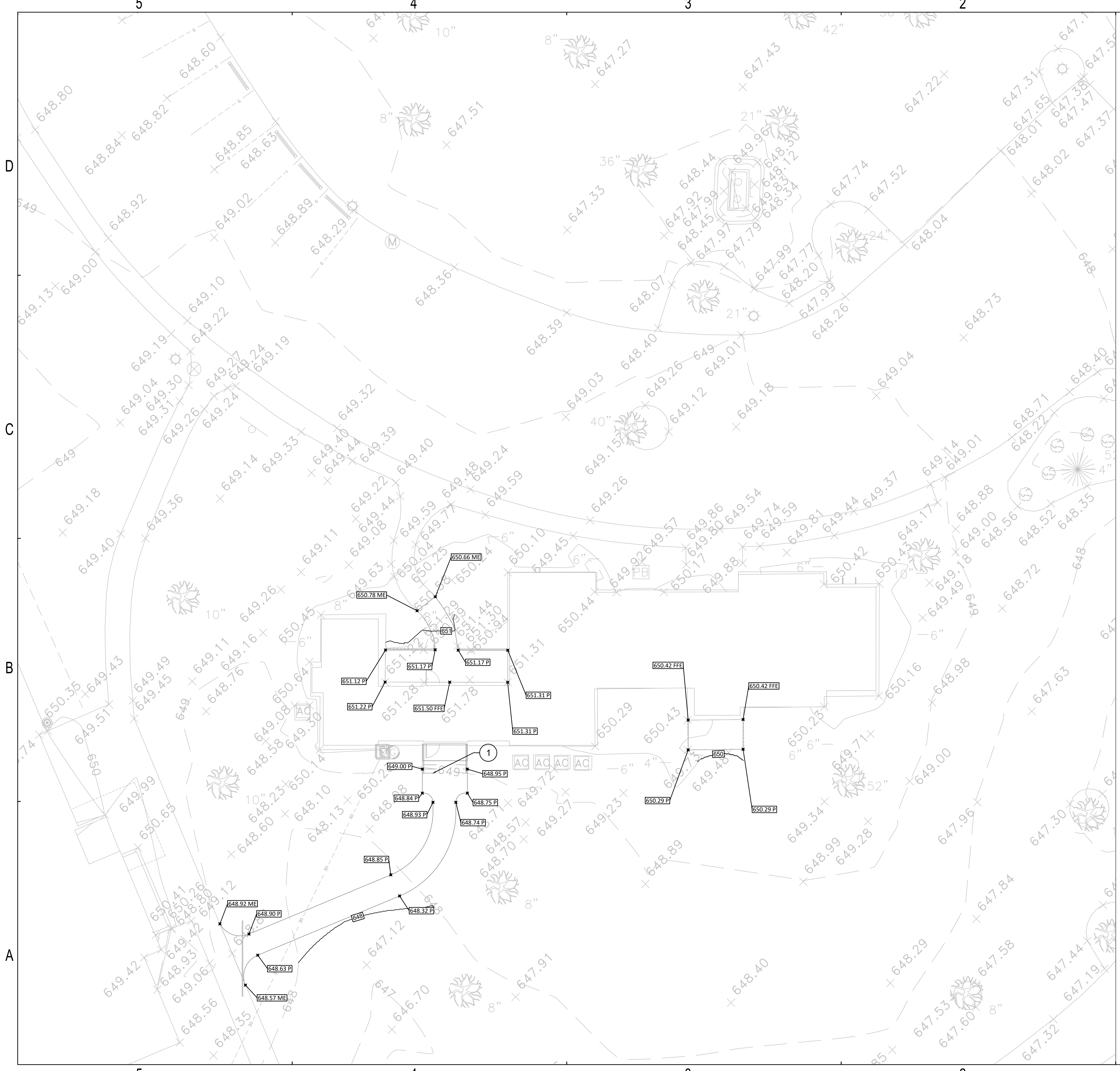
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GENERAL GRADING NOTES

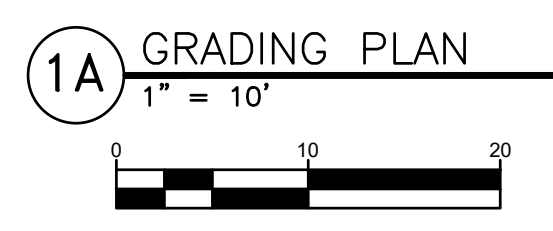
- IF THE LOCAL BENCHMARK(S) WILL BE DISTURBED DURING CONSTRUCTION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH ADDITIONAL BENCHMARKS AS NEEDED.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF SITE CONDITIONS AT THE TIME THIS PROJECT IS BID.
- ALL TRANSITIONS IN CURB HEIGHTS SHALL BE SMOOTH WITH A CONSISTENT SLOPE.

GRADING LEGEND

--- 828 ---	EXISTING CONTOUR LINE
— 828 —	PROPOSED CONTOUR LINE
1000.00	PROPOSED ELEVATION
1000.00 EX	EXISTING ELEVATION
1000.00 ME	MATCH EXISTING ELEVATION
1000.00 TC	TOP OF CURB ELEVATION
1000.00 TW	TOP OF WALL ELEVATION
1000.00 TR	TOP OF RIM ELEVATION
1000.00 P	PAVEMENT ELEVATION
1000.00 GU	GUTTER ELEVATION
1000.00 G	GROUND ELEVATION
1000.00 FL	FLOWLINE ELEVATION
1000.00 BC	BOTTOM OF CURB ELEVATION
1000.00 BW	BOTTOM OF WALL ELEVATION
1004.50 FFE	FINISH FLOOR ELEVATION

GRADING KEY NOTES

① MATCH CONCRETE FLUSH TO BOTTOM STEP



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 Indianapolis, IN 46204
 www.schmidt-arch.com

Project No. 2021-036.GAH
 Project Date 01.08.2026
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Kyle E. Miller

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3705 IN-16
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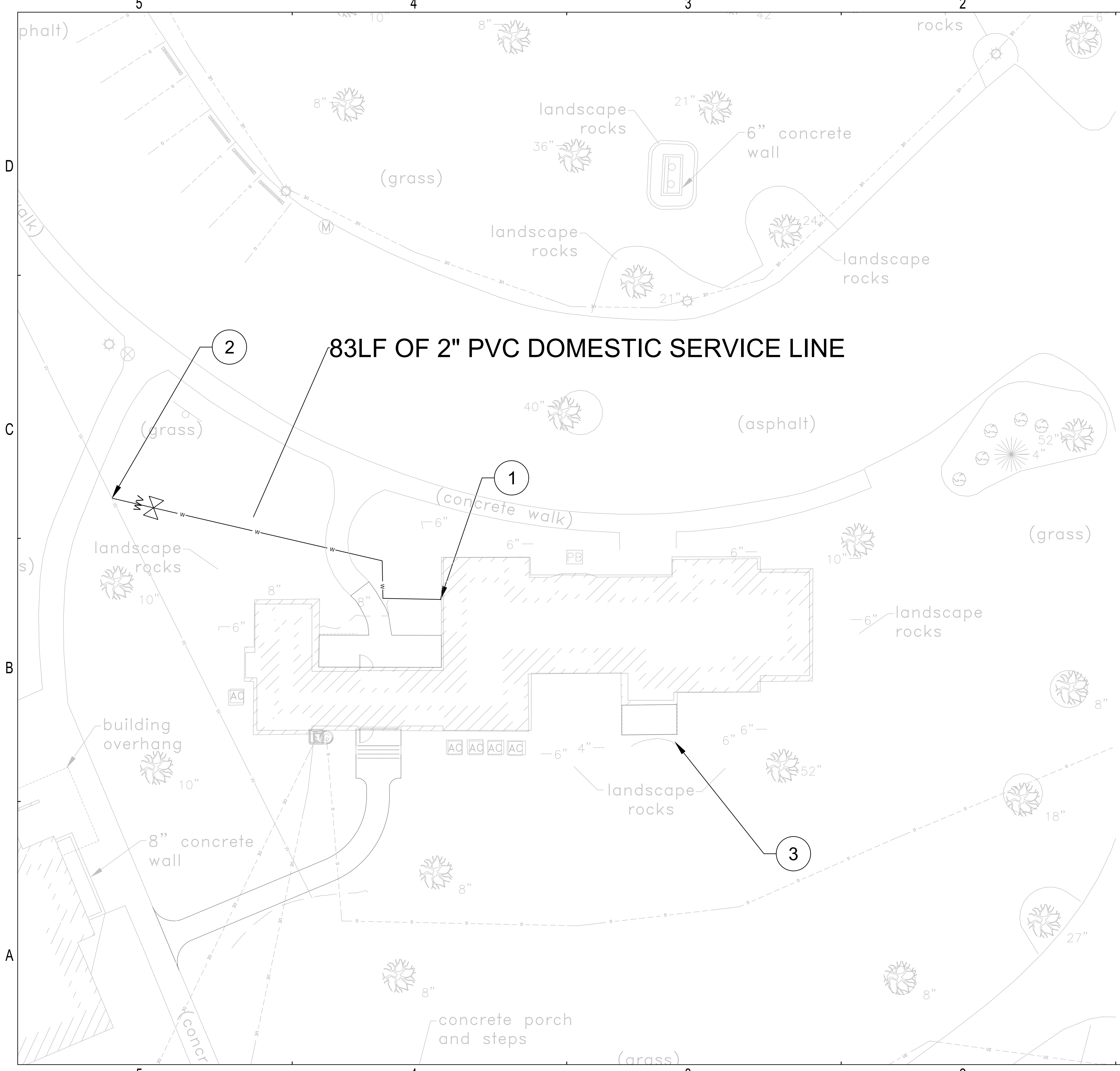
KEY PLAN

NEWTON COUNTY
 BOARD OF
 COMMISSIONERS

HAZELDEN ESTATE
 RESTORATION -
 HOUSE
 RESTORATION -
 BID PACKAGE 3

GRADING PLAN

CG101.3

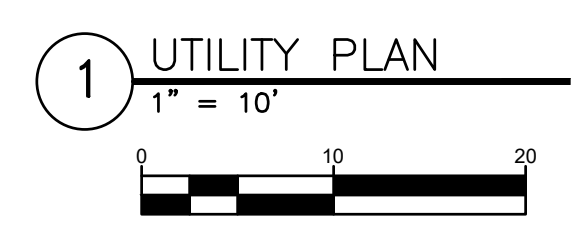


- GENERAL UTILITIES NOTES**
- IF THE LOCAL BENCHMARK(S) WILL BE DISTURBED DURING CONSTRUCTION, IT THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH ADDITIONAL BENCHMARKS AS NEEDED.
 - ALL LIDS, CASTINGS, GRATES, BOXES, AND HATCHES ASSOCIATED WITH EXISTING UTILITY STRUCTURES THAT ARE NOT INDICATED FOR MODIFICATION SHALL BE MAINTAINED AND PROTECTED DURING CONSTRUCTION.
 - COMPACTED GRANULAR BACKFILL IS REQUIRED FOR ALL UTILITY TRENCHES LOCATED UNDER PAVED AREAS. SEE SPECIFICATIONS.
 - PIPE LENGTHS INDICATED ON THE DRAWINGS ARE FOR HYDRAULIC CALCULATION PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR FURNISHING THE AMOUNT OF PIPE MATERIALS NECESSARY FOR A COMPLETE INSTALLATION.
 - ALL EXISTING PIPES INVERTS ARE APPROXIMATE. VERIFY ALL INVERTS IN FIELD. IF INVERTS DO NOT MATCH THE PLAN, CONTACT THE ARCHITECT.

UTILITY LEGEND

PIPE	PIPE
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
MANHOLE	MANHOLE
END SECTION	END SECTION
BOX STRUCTURE	BOX STRUCTURE
DOWNSPOUT BOOT	DOWNSPOUT BOOT
CLEAN OUT	CLEAN OUT
STORM NETWORK	STORM NETWORK
SANITARY NETWORK	SANITARY NETWORK

- UTILITIES KEY NOTES**
- SEE P-SERIES PLANS FOR CONNECTION
 - PIPE CONNECTION FROM UTILITY PREPARATION PACKAGE
 - FIELD VERIFY AND CAP EXISTING SANITARY LINE



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KEY PLAN

NEWTON COUNTY BOARD OF COMMISSIONERS

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

UTILITY PLAN
CU101.3

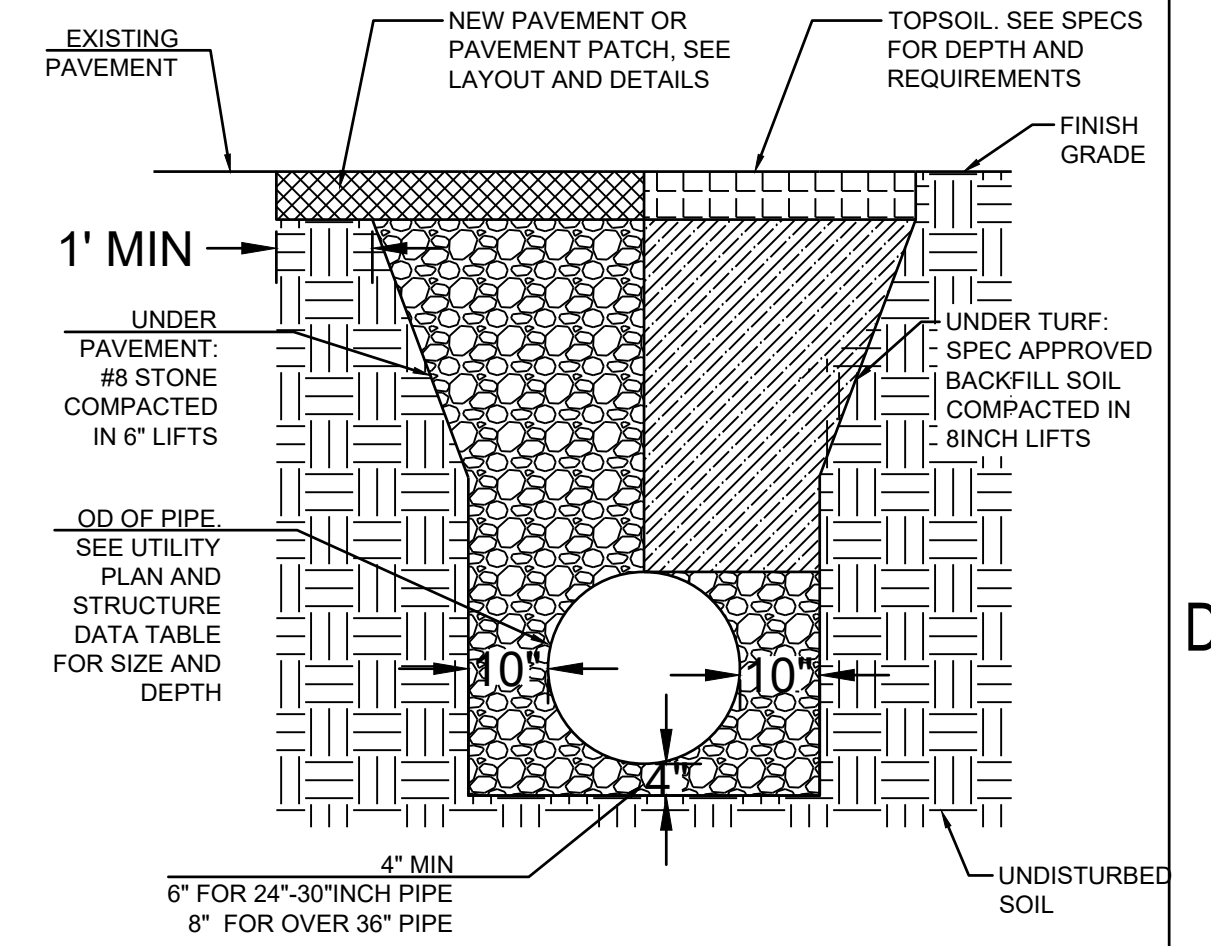
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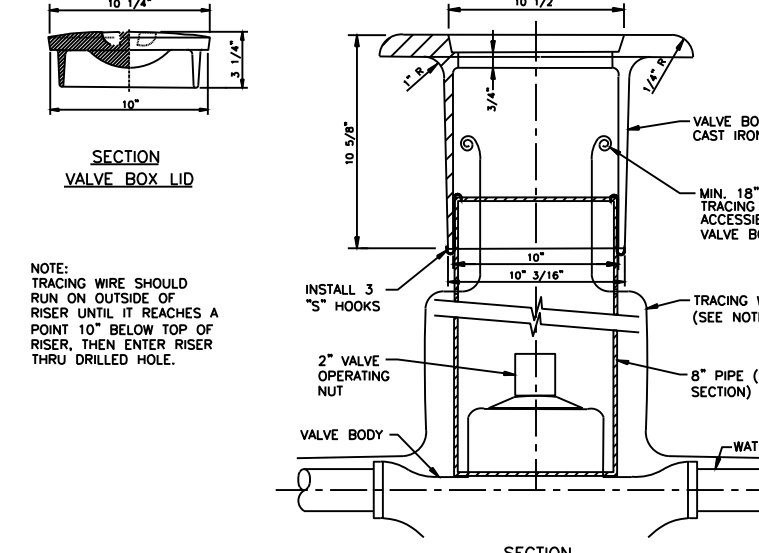
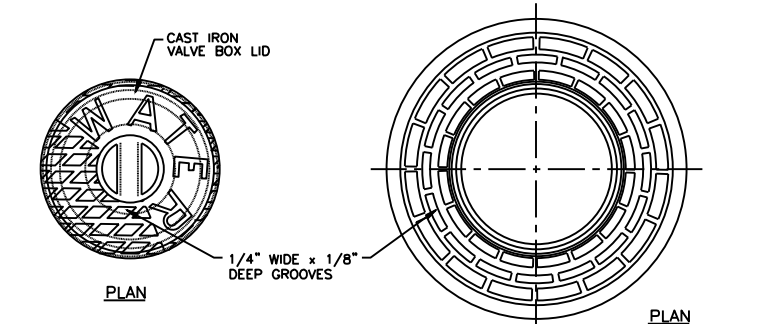
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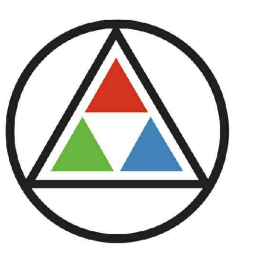
1



1D SDR35, HDPE, RCP PIPE BEDDING
1" = 2'



1C WATER VALVE
NTS



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KEY PLAN

NEWTON COUNTY
BOARD OF
COMMISSIONERS

HAZELDEN ESTATE
RESTORATION -
HOUSE
RESTORATION -
BID PACKAGE 3

UTILITY DETAILS

CU501.3

D

C

B

A

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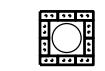
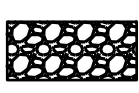
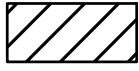




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- EROSION CONTROL LEGEND**
-  INLET PROTECTION, SEE DETAILS
 -  CONSTRUCTION ENTRANCE, SEE DETAILS
 -  EROSION CONTROL BLANKET
 -  CONSTRUCTION LIMITS LINE
 -  SILT FENCE
 -  CONCRETE WASHOUT, SEE DETAILS
 -  STOCK PILE (SEE DETAILS)


CONTACT PERSON
 KRISTINE WRIGHT-DIRECTOR
 100 W MAIN ST, BROOK IN
 kwright@brook.lib.in.us
 219-275-2471

- EROSION CONTROL NOTES**
- ① SEED ALL DISTURBED AREAS



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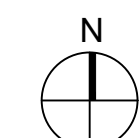


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KEY PLAN 

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 HOUSE
 RESTORATION -
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STORMWATER POLLUTION
 PREVENTION PLAN (SWPPP)
CE101.3

① **EROSION CONTROL PLAN**
 1" = 20'



A-Construction Plan Elements

- A1. INDEX SHOWING LOCATIONS OF REQUIRED PLAN ELEMENTS: SEE SHEET G-001
- A2. VIGNET MAP: SEE SHEET G-001
- A3. NARRATIVE DESCRIBING THE NATURE AND PURPOSE OF THE PROJECT: THIS PACKAGE INVOLVES NEW SIDEWALKS, NEW WATER PIPING, NEW PLANTINGS, AND OTHER CONCRETE ADJUSTMENTS.
- A4. LATITUDE AND LONGITUDE: THIS PACKAGE INVOLVES NEW SIDEWALKS, NEW WATER PIPING, NEW PLANTINGS, AND OTHER CONCRETE ADJUSTMENTS. SEE COVER SHEET G-001. LATITUDE: 40.86402506G LONGITUDE: -87.323457 DEG
- A5. LEGAL DESCRIPTION OF THE PROJECT SITE: SECTION 22, 28N, 8W RE, NEWTON COUNTY, INDIANA.
- A6. 11X17 PLAT SHOWING LOCATIONS: SEE SHEET CL101.
- A7. BOUNDARIES OF 100YR FLOODWAY/FRINGES, AND FLOODPLAINS: SEE SURVEY SHEETS
- A8. LAND US OF ALL ADJACENT PROPERTIES: SEE SURVEY SHEETS.
- A9. IDENTIFICATION OF US EPA APPROVED OR ESTABLISHED TMDL: NO EPA APPROVED OR ESTABLISHED TMDL.
- A10. NAME OF RECEIVING WATERS: IROQUOIS RIVER
- A11. IDENTIFICATION OF DISCHARGES TO A WATER ON THE CURRENT 303 LIST OF IMPAIR WATERS AND THE POLLUTANTS FOR WHICH IT IS IMPAIRED:
- A12. SOIL MAP: SEE CE501
- A13. IDENTIFICATION AND LOCATION OF ALL KNOWN WETLAND LAKES AND WATER COURSES ON ADJACENT TO THE PROJECT SITE: SEE SURVEY SHEETS.
- A14. IDENTIFICATION OF ANY OTHER STATE OR FEDERAL WATER QUALITY PERMITS OR AUTHORIZATION THAT ARE REQUIRED FOR CONSTRUCTION ACTIVITIES:
- A15. IDENTIFICATION AND DELINEATION OF EXISTING COVER INCLUDING NATURAL BUFFERS: SEE SURVEY SHEETS.
- A16. EXISTING TOPOGRAPHY AT A CONTOUR INTERVAL APPROPRIATE TO INDICATE DRAINAGE PATTERNS: SEE SURVEY SHEETS
- A17. LOCATION OF WHERE RUNOFF ENTERS THE PROJECT SITE: SEE CG101.
- A18. LOCATION OF WHERE RUNOFF DISCHARGES FROM THE PROJECT SITE PRIOR TO LAND DISTURBANCE: SEE SURVEY SHEETS
- A19. LOCATION OF ALL EXISTING STRUCTURE ON THE PROJECT SITE: SEE SURVEY SHEETS.
- A20. EXISTING PERMANENT RETENTION OR DETENTION FACILITIES, INCLUDING MANMADE WETLANDS, DESIGNED FOR THE PURPOSE OF STORMWATER MANAGEMENT. SEE SURVEY SHEETS.
- A21. LOCATIONS WHERE STORMWATER MAY BE DIRECTLY DISCHARGED INTO GROUNDWATER, SUCH AS ABANDONED WELLS, SINKHOLES OR KARST FEATURES.
- A22. SIZE OF PROJECT AREA IN ACRES: 0.72 ACRES
- A23. TOTAL EXPECTED LAND DISTURBANCES IN ACRES: 0.04 ACRES
- A24. PROPOSED FINAL TOPOGRAPHY: SEE CG101 SHEETS
- A25. LOCATION AND APPROXIMATE BOUNDARIES OF ALL DISTURBED AREAS: SEE CL101 SHEETS.
- A26. LOCATION SIZE AND DIMENSION OF ALL STORMWATER DRAINAGE SYSTEM. SEE CU101 SHEETS
- A27. LOCATION OF SPECIFIC POINT WHERE STORMWATER AND NON-STORMWATER DISCHARGES WILL LEAVE THE PROJECT SITE. SEE CU101 SHEETS
- A28. LOCATION OF ALL PROPOSED SITE IMPROVEMENTS: SEE CL101 SHEETS
- A29. LOCATION OF ALL ONSITE SOIL STOCKPILES AND BORROW AREAS. SEE CE101 SHEETS.
- A30. CONSTRUCTION SUPPORT ACTIVITIES: NONE
- A31. LOCATION OF ANY IN-STREAM ACTIVITIES: NONE

B-SWPPP-EROSION CONTROL

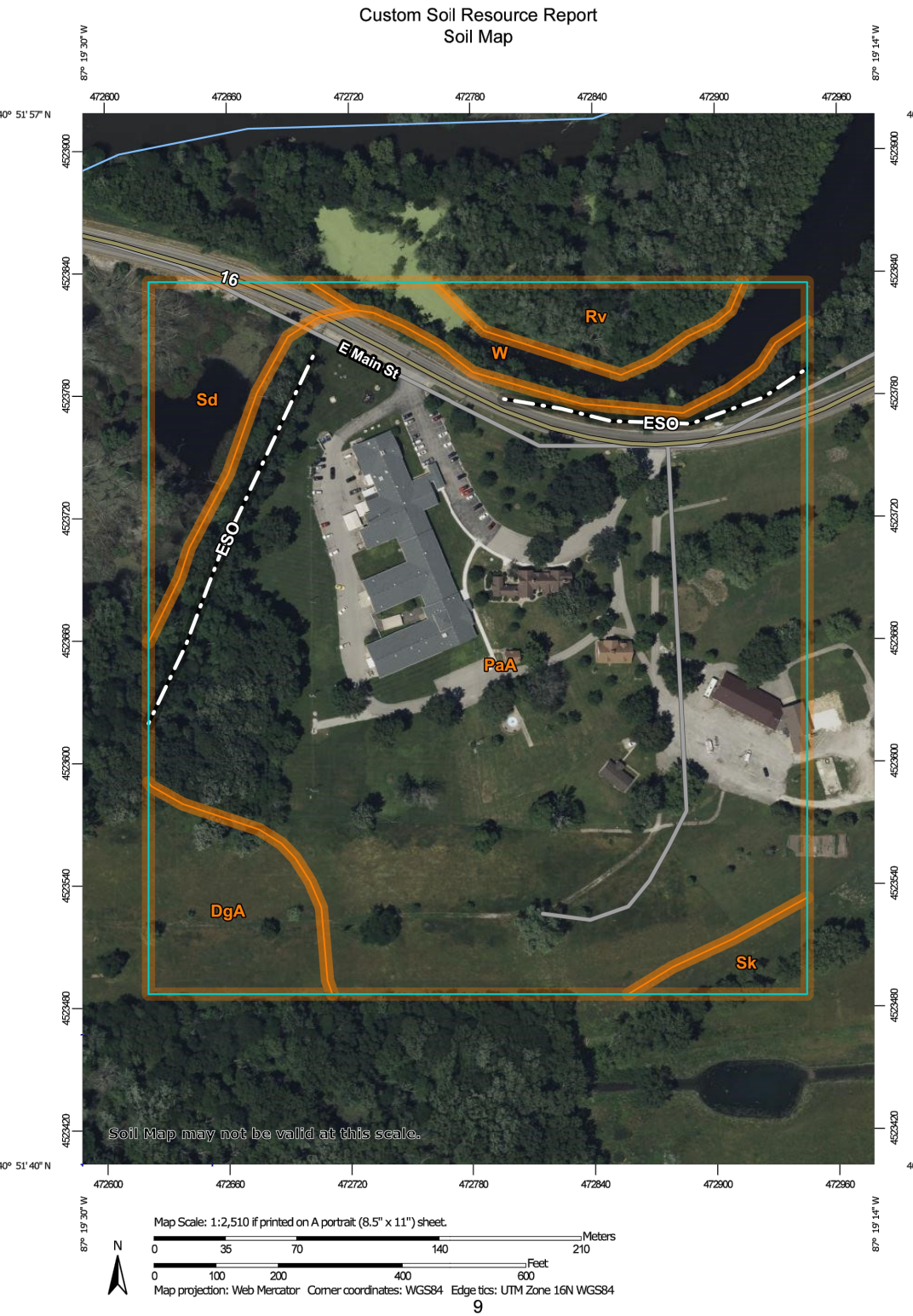
- B1. DESCRIPTION OF POTENTIAL POLLUTANT SOURCES ASSOCIATED WITH CONSTRUCTION ACTIVITIES: SILT AND SEDIMENT FROM EXPOSED SOILS, LEAVES, MULCH, VEHICULAR SOURCES SUCH AS LEAKING FUEL OR OIL, BRAKE FLUID, BRAKE DUST, TRASH, DEBRIS, BIOLOGICAL AGENTS FOUND IN TRASH, FERTILIZERS, HERBICIDES, PESTICIDES, ACID RAIN, LIME DUST AND CONCRETE WASHOUT.
- B2. STABLE CONSTRUCTION ENTRANCE LOCATION AND SPECS: SEE CE101 AND CE501 SHEETS
- B3. SPECIFICATIONS FOR TEMPORARY AND PERMANENT STABILIZATION: SEE CHART: Sectional Soil Protection Chart
- B4. SEDIMENT CONTROL MEASURES FOR CONCENTRATED FLOW AREAS: SEE SHEET CE101
- B5. SEDIMENT CONTROL MEASURES FOR SHEET FLOW AREAS: SEE SHEET CE101.
- B6. RUNOFF CONTROL MEASURES: SEE SHEET CE101.
- B7. STORMWATER OUTLET AND PROTECTION LOCATIONS AND SPECS: SEE SHEET CE101.
- B8. GRADE STABILIZATION STRUCTURE LOCATIONS AND SPECS: SEE SHEET CE101
- B9. DRAINAGE APPLICATIONS AND MANAGEMENT METHODS: NONE
- B10. MEASURES UTILIZED FOR WORK WITHIN WATERBODIES: NONE.
- B11. MAINTENANCE GUIDELINES FOR EACH PROPOSED TEMPORARY STORMWATER QUALITY MEASURE. PER IDEM STORMWATER QUALITY MANUAL AND BELOW.
 - SILT FENCE MAINTENANCE REQUIREMENTS**
 - Inspect the silt fence periodically and after each storm event
 - If fence fabric tears, starts to decompose or in any way becomes ineffective, replace the affected portion immediately.
 - Remove deposited sediment when it reaches half the height of the fence or its lowest point or is causing the fabric to bulge.
 - TEMPORARY INLET PROTECTION MAINTENANCE REQUIREMENTS**
 - Inspect temporary inlet after each storm event and immediately repair any erosion and piping holes.
 - Inspect vegetation and re-seed if necessary.
 - If fabric tears, starts to decompose or in any way becomes ineffective, replace the affected portion immediately.
 - Remove deposited sediment when it reaches half full.
 - EROSION CONTROL BLANKET (SURFACE APPLIED) MAINTENANCE REQUIREMENTS**
 - During vegetative establishment, inspect after each storm event for any erosion below the blanket.
 - If any areas show erosion, pull back that portion of the blanket covering it, reseed the area and relay and staple the blanket.
 - After vegetative establishment check the treated area periodically.
 - TEMPORARY GRAVEL CONSTRUCTION ENTRANCE MAINTENANCE REQUIREMENTS**
 - Inspect entrance post and sediment disposal area weekly and after storm events or heavy use.
 - Reshape as needed for drainage and runoff control.
 - Topdress with clean stone as needed.
 - Immediately remove mud and sediment tracked or washed onto streets by brushing or sweeping.
 - TEMPORARY CONCRETE WASHOUT MAINTENANCE REQUIREMENTS**
 - Clean concrete washout daily when used.
 - Dispose of concrete per local requirements.
- B12. PLANNED CONSTRUCTION SEQUENCE DESCRIBING THE RELATIONSHIP BETWEEN IMPLEMENTATION OF STORMWATER QUALITY MEASURE IN REACTION TO LAND DISTURBANCE.
 - Conduct preconstruction meeting with soil and water
 - Call the Indiana Underground Plant Protection systems, Inc. ("Vidley Mole") at 811 to check the location of any existing utilities. They should be notified two working days before construction takes place.
 - post 1 silt fence shall be installed at the edges of the project site where there is potential for any stormwater runoff.
 - Inlet protection shall be installed.
 - Evaluate, mark and protect important trees and associated root zones. Evaluate existing vegetation suitable
 - A construction entrance shall be placed per the plan location
 - Establish construction staging area for equipment and vehicles
 - Establish onsite location for approved plans/SWPPP plans and postings.
 - Establish SWPPP documents and reports
 - Once erosion and sediment control measures are in place, begin land clearing followed immediately by rough grading. Do not leave large areas unprotected for more than 7 days.
 - Conduct SWPPP inspections
 - After grading, seed all disturbed areas
 - Install utilities including Storm sewers, etc
 - Install inlet protections on new storm structures
 - Final Grade and Final Seed all areas.
- B13. PROVISION FOR EROSION AND SEDIMENT CONTROL ON INDIVIDUAL BUILDING LOTS REGULATED UNDER THE PROPOSED PROJECT. NONE
- B14. MATERIAL HANDLING AND SPILL PREVENTION AND SPILL RESPONSE PLAN MEETING THE REQUIREMENT IN 327 IAC2-6.5.
 - IF ANY SPILL EXCEEDS THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT LEVELS, THE CONTRACTOR SHALL ENGAGE A QUALIFIED ENVIRONMENTAL CLEAN UP CONTRACTOR TO DISPOSE OF CONTAMINATED AREAS AS REQUIRED BY THE INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT. ALL CLEAN OUT OF CONCRETE TRUCKS SHALL ALSO BE DONE A MINIMUM OF 50 FEET FROM ANY STORM INLET, DRAINAGE SWALE OR EXCAVATED POND. ALL CONCRETE CLEAN OUT SHALL BE IN AN EXCAVATED SEDIMENT BASIN AND THE EXCESS MATERIAL REMOVED AFTER ALL CONCRETE MATERIAL INSTALLATION HAS BEEN COMPLETED ON THE SITE.
 - Any personnel observing a spill will immediately instigate the following procedure:
 - Calling 911 from any telephone.
 - Notify the appropriate emergency personnel.
 - The Emergency Coordinator will then take the following actions:
 - Barricade the area allowing no vehicles to enter or leave the spill zone.
 - Notify the Indiana Department of Environmental Management, Office of Emergency Response by calling the appropriate telephone number: Office: 317-233-7745
 - Notify National Response Center at 800-424-8802
 - Notify bureau of Water Quality - (765)747-4996
- B15. MATERIAL HANDLING AND STORAGE PROCEDURES ASSOCIATED WITH CONSTRUCTION ACTIVITY: SEE SHEET CE101

C-SWPPP POST CONSTRUCTION

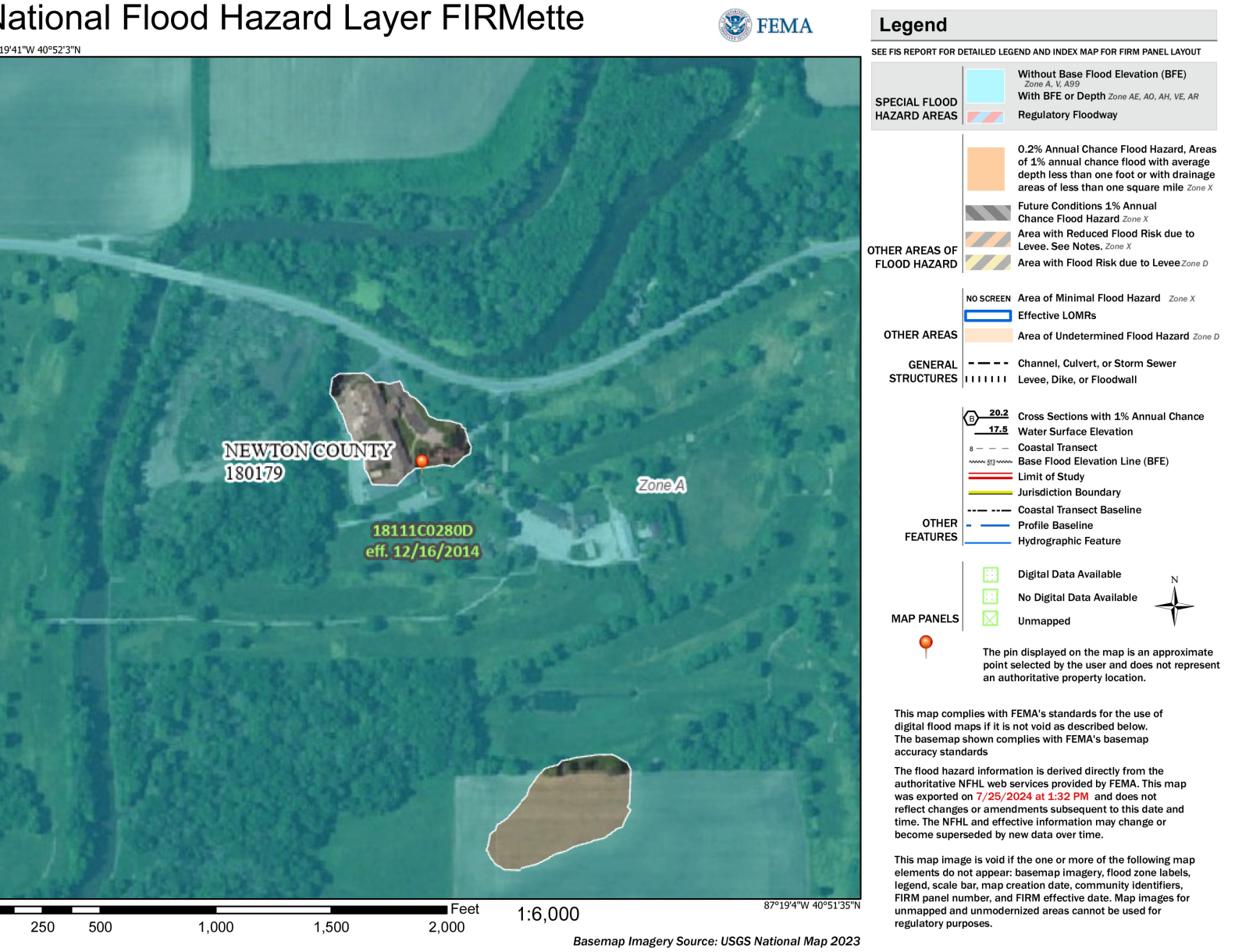
- C1. DESCRIPTION OF POLLUTANTS AND THEIR SOURCES ASSOCIATE WITH THE PROPOSED LAND ACTIVITIES: US SILT AND SEDIMENT FROM EXPOSED SOILS, LEAVES, MULCH, VEHICULAR SOURCES SUCH AS LEAKING FUEL OR OIL, BRAKE FLUID, BRAKE DUST, TRASH, DEBRIS, BIOLOGICAL AGENTS FOUND IN TRASH, FERTILIZERS, HERBICIDES, PESTICIDES, ACID RAIN, LIME DUST
- C2. DESCRIPTION OF PROPOSED POST CONSTRUCTION STORMWATER MEASURES
 - VEGETATED STRIPS AND/OR SWALES
 - PERMANENT EROSION CONTROL SEEDING AND PLANTINGS
 - OUTLET PROTECTION & VELOCITY DISSIPATION DEVICES
 - EARTHEN DIKES, DRAINAGE SWALES AND LINED DITCHES
 - ROCK SLOPE PROTECTION
 - MULCHING
- C3. PLAN DETAILS FOR EACH STORMWATER MEASURE: SEE CE501 AND SPECS
- C4. SEQUENCE DESCRIBING STORMWATER MEASURE IMPLEMENTATION AFTER ALL CONSTRUCTION ACTIVITIES ARE FINISHED, INSTALL ALL PERMANENT VEGETATION.
- C5. MAINTENANCE GUIDELINE FOR PROPOSED POST CONSTRUCTION STORMWATER MEASURES
 - INSPECT ALL STORM WATER STRUCTURES, FOR DEBRIS QUARTERLY
 - INSPECT ORIFICE FOR DEBRIS AFTER ALL LARGE RAIN EVENTS AND QUARTERLY
 -
- C6. ENTITY THAT WILL BE RESPONSIBLE FOR OPERATION AND MAINTENANCE OF THE POST CONSTRUCTION STORMWATER MEASURES. GEORGE ADE MEMORIAL HEALTH CARE CENTER

L-LOCAL SWPPP

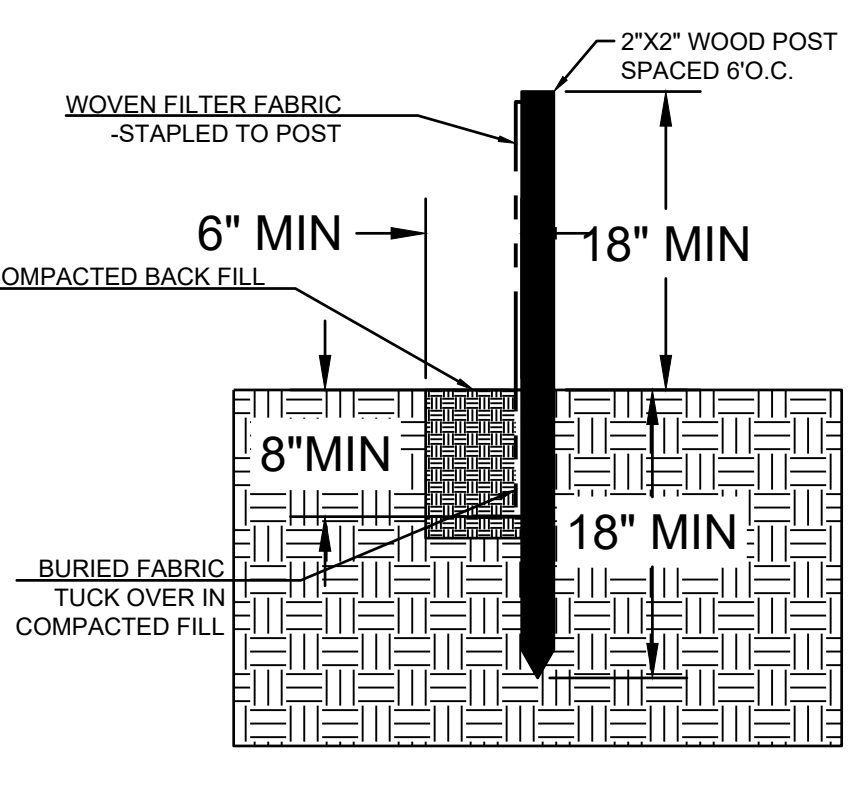
- L1. A SWPP WAS NOT PREPARED AND APPROVED PRIOR TO CONSTRUCTION N/A
- L2. THE SWPPP IDENTIFIES THE LOCATION OF: CHEMICAL STORAGE, STRUCTURE, AND PIPE LISTS, PORTA-LETS, STAGING AREA, FUEL TANKS, AND DUMPSTER PADS. SEE CE101 SHEETS.
- L3. SWPPP SITE DESCRIPTION INCLUDES TOTAL FINAL IMPERVIOUS AREA. SEE CL101 SHEETS.
- L4. SWPPP REFERENCES THE IDEM INDIANA STORMWATER QUALITY MANUAL. SEE B-SWPPP.
- L5. IF A RETAIL GASOLINE OUTLET: THE SWPPP INCLUDES POLLUTION REDUCTION BMPS N/A
- L6. IF RETAIL GASOLINE OUTLET THE SWPPP INCLUDES THE INSTALLATION DETAILS N/A
- L7. IF A RETAIL GASOLINE OUTLET: THE POST CONSTRUCTION AGREEMENT INCLUDES BMPS, DETAILS, AND MAINTENANCE CRITERIA. N/A



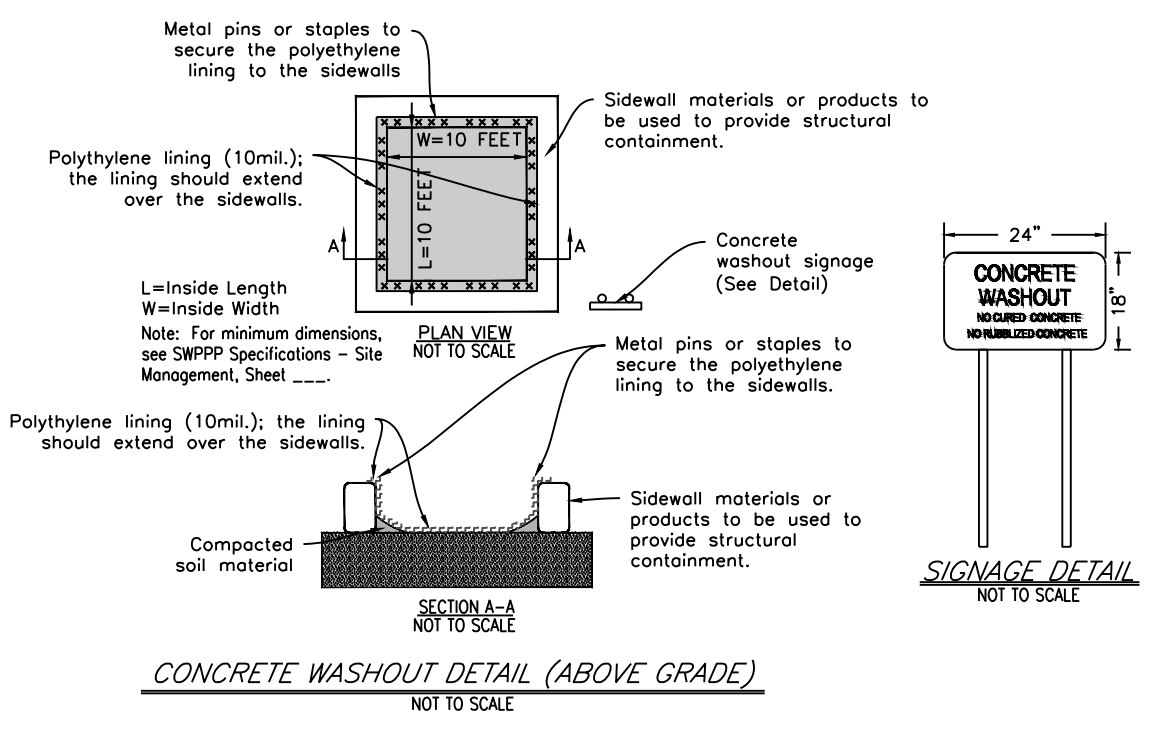
2D NRCS SOIL MAP & DESCRIPTION N.T.S



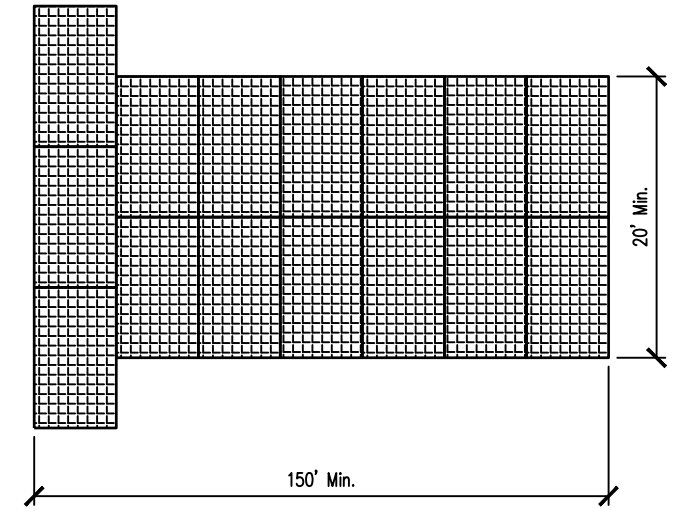
2B ADJACENT FLOODPLAINS & FLOODWAYS MAP N.T.S



3A SILT FENCE 1" = 1'



2A CONCRETE WASHOUT N.T.S

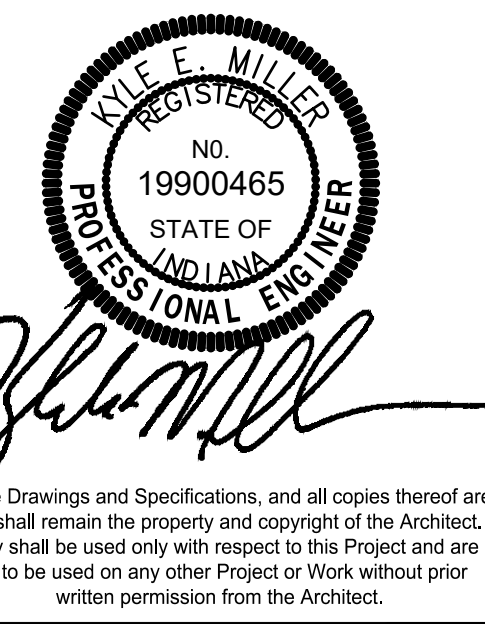


- Maintenance:
- Use FDS or Shaker plates on existing pavement as the construction entrance.
 - The mat shall be 12"x33" size from FDS LLC 91-844-200-3637, or from SoCal Shaker Plates (951-588-5696)
 - Inspect daily, and after storm events or heavy use.
 - Reshape as needed for drainage and runoff control.
 - Immediately remove mud and sediment tracked or washed onto public roads by sweeping or brushing.
 - Repair any broken pavement immediately.

1A STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE - PRACTICE 3:01



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KEY PLAN

NEWTON COUNTY BOARD OF COMMISSIONERS

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

SWPPP NOTES AND DETAILS

CE501.3

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C

B

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LANDSCAPE LEGEND	
	PROPOSED CANOPY TREE
	PROPOSED EVERGREEN TREE
	PROPOSED SHRUB
	STONE AGGREGATE MULCH
	PENNINGTON SIGNATURE SERIES, ELITE TURF TYPE TALL FESCUE BLEND, INCLUDING AT LEAST (3) NTEP TRIAL HIGH PERFORMING TURF TYPE TALL FESCUE VARIETIES: REBEL IV, JUSTICE, REBAL, EXEDA, OR SIMILAR, SEED AT A RATE OF 5-8 LBS/ 1000 SF.
	DOUBLE SHREDDED HARDWOOD MULCH. SEE SPECS

GENERAL PLANTING NOTES

- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PERMANENTLY SEEDED UNLESS INDICATED OTHERWISE ON THIS PLAN.
- ALL EXISTING LANDSCAPING ON AND ADJACENT TO PROJECT SITE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
- PLANT QUANTITIES LISTED IN THE TABLE ARE FOR CONTRACTOR CONVENIENCE ONLY. IN THE EVENT OF DISCREPANCY BETWEEN STATED AMOUNT AND WHAT IS GRAPHICALLY SHOWN ON PLAN, THE PLAN QUANTITY SHALL DICTATE.
- ESTABLISH TURF GRASS ABOVE NATIVE AREA PRIOR TO SEEDING NATIVES TO PREVENT CONTAMINATION OF THE NATIVES. IN THE EVENT PRIOR ESTABLISHMENTS IS NOT FEASIBLE, UTILIZE SILT FENCE OR OTHER CONTROL SYSTEM TO PREVENT CROSS CONTAMINATION.

HOUSE RESTORATION PLANTING SCHEDULE					
Count	Key	Scientific Name	Common Name	Size	Condition
Ornamental Grasses					
50	PAN-HM	Panicum virgatum 'Heavy Metal'	Heavy Metal Switchgrass	1 Gal.	Cont.
26	SPO-H	Sporobolus heterolepis	Prairie Dropseed	1 Gal.	Cont.
Perennial					
44	ACH-T	Achillea 'Terracotta'	Terracotta Yarrow	1 Gal.	Cont.
28	NEP-F	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 Gal.	Cont.
Shrubs					
10	HYD-PW	Hydrangea quercifolia 'Pee Wee'	Pee Wee oakleaf hydrangea	3 Gal, 24" min Ht	Cont.
3	ILE-JD	Ilex verticillata 'Jim Dandy'	early male winterberry	3 Gal, 24" min Ht	Cont.
8	ILE-SP	Ilex verticillata 'Spravy'	Heavy Berry Winterberry	3 Gal, 24" min Ht	Cont.
20	TAX-E	Taxus x media 'Everlow'	everlow spreading yew	3 Gal, 24" min Ht	Cont.



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 Project Date 01.08.2026
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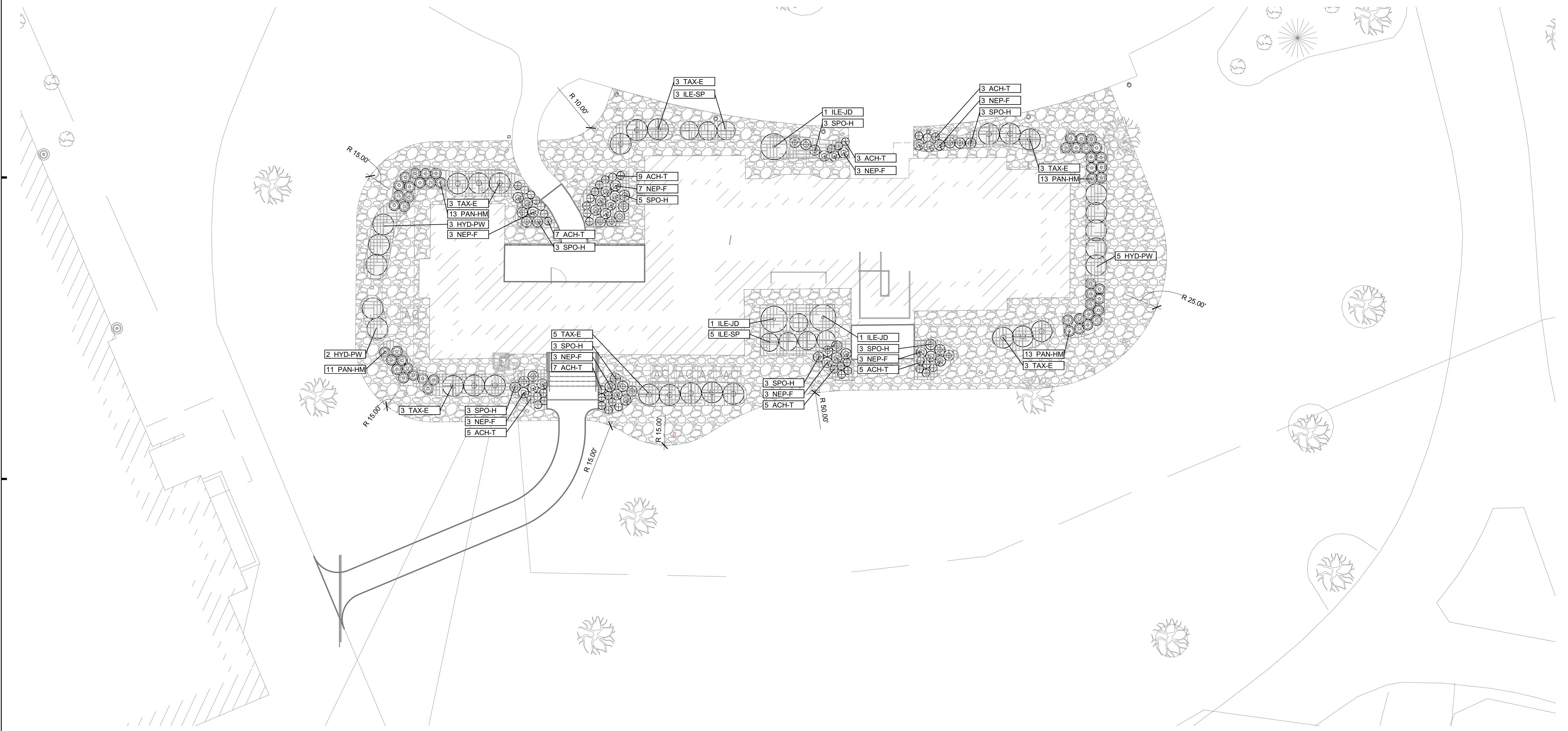
#	Revision	Date

3705 IN-16
 Brook, IN 47922

NEWTON COUNTY BOARD OF COMMISSIONERS

HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

HOUSE RESTORATION PLANTING PLAN
 LP101.3



1 HOUSE RESTORATION PLANTING PLAN
 1" = 10'-0"

5

4

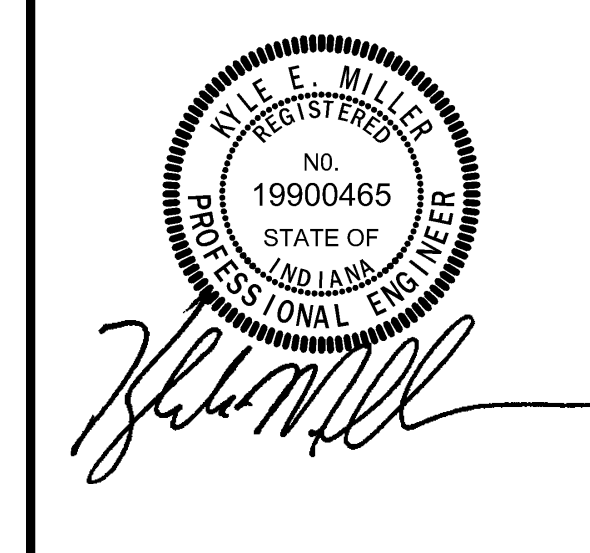
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2

1



Project No. 2021-036.GAH
 Project Date 01.08.2026
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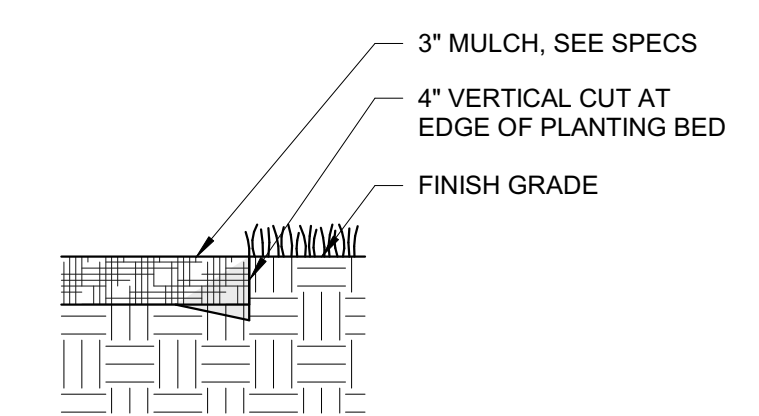
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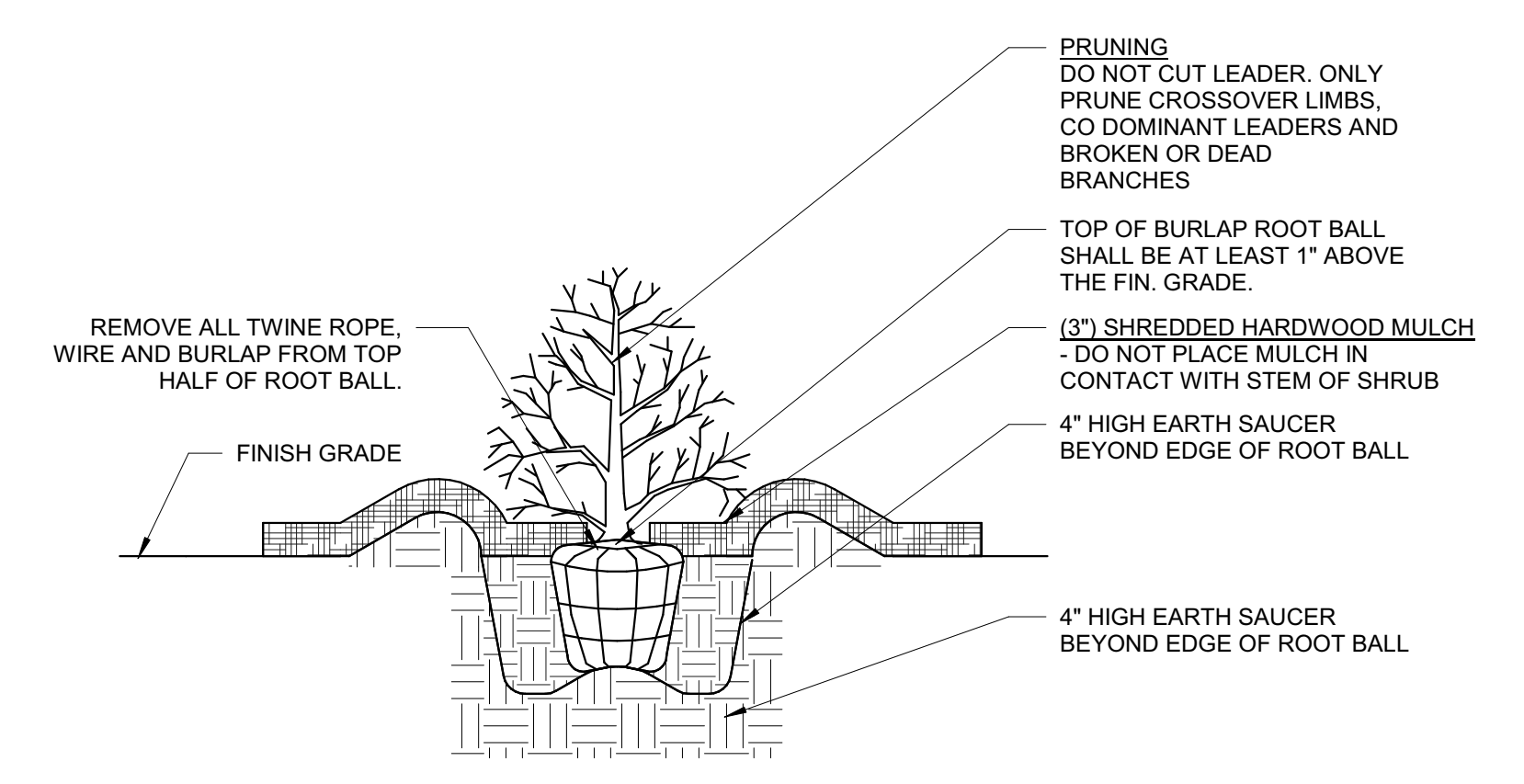
HAZELDEN ESTATE RESTORATION - HOUSE RESTORATION - BID PACKAGE 3

PLANTING DETAILS

LP501.3



1B PLANTING, SPADE EDGE
 1" = 1'-0"



1A PLANTING, SHRUB
 3/4" = 1'-0"

D
 C
 B
 A

5 4 3 2 1

5 4 3 2 1

SPECIALTY ENGINEERING

- 1. A Specialty Engineer is defined as a Professional Engineer licensed in the State of Indiana, not the Structural Engineer of Record, who performs Structural Engineering functions necessary for the design to be completed and who has shown experience and/or training in the specific specialty...

CONCRETE NOTES

- 1. Details of fabrication of reinforcement, handling and placing of the concrete, construction of forms and placement of reinforcement not otherwise covered by the Plans and Specifications, shall comply with the ACI Code requirements of the latest revised date.

CONCRETE MIX CLASSES

Table with 2 columns: CLASS AND CONCRETE TYPE, and COMPRESSIVE STRENGTH. Includes rows for Class A Concrete, Footings, and Class E Concrete.

FOUNDATIONS

- 1. Proofroll slab on grade areas with a medium-weight roller or other suitable equipment to check for pockets of soft material hidden beneath a thin crust of better soil.

Table with 2 columns: COLUMN FOOTINGS and WALL FOOTINGS, and 2 rows: 2,000 PSF and 1,500 PSF.

EXISTING CONSTRUCTION

- 1. The contractor shall field verify the dimensions, elevations, etc. necessary for the proper construction and alignment of the new portions of the work to the existing work.

DESIGN CRITERIA

- 1. DESIGN STANDARDS: The intended design standards and/or criteria are as follows: General: 2014 Indiana Building Code (i.e. 2012 International Building Code with Indiana amendments)

COORDINATION WITH OTHER TRADES

- 1. The Contractor shall coordinate and check all dimensions relating to Architectural finishes, mechanical equipment and openings, elevator shafts and overruns, etc. and notify the Architect/Engineer of any discrepancies before proceeding with any work in the area under question.

GENERAL NOTES

- 1. The Contractor shall be responsible for complying with all safety precautions and regulations during the work. The Engineer will not advise on, nor issue direction as to safety precautions and programs.

WOOD SHRINKAGE NOTES

The following is a list of recommendations to minimize potential issues related to wood shrinkage and veneer expansion (A portion of clay masonry veneer expansion is irreversible and a portion is seasonal).

WOOD FRAMING NOTES

- 1. For wood connections not specifically noted or detailed, follow the requirements of IRC 2302 Table 2304.9.1 or ESR-1539.

FRAMING PLAN NOTES

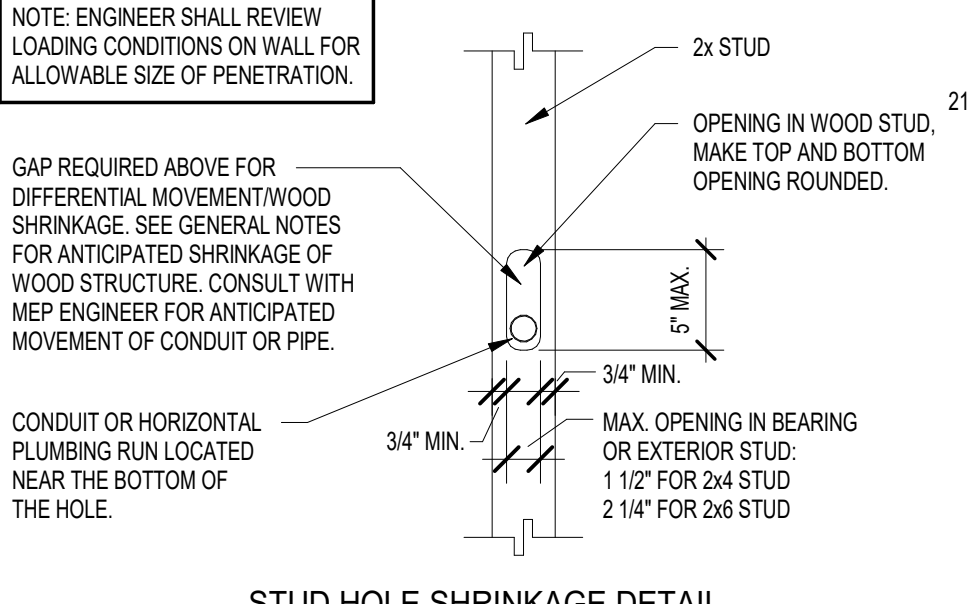
- 1. REF. SF101.3 FOR STRUCTURAL NOTES, DESIGN DATA & SCHEDULES.

FOUNDATION PLAN NOTES

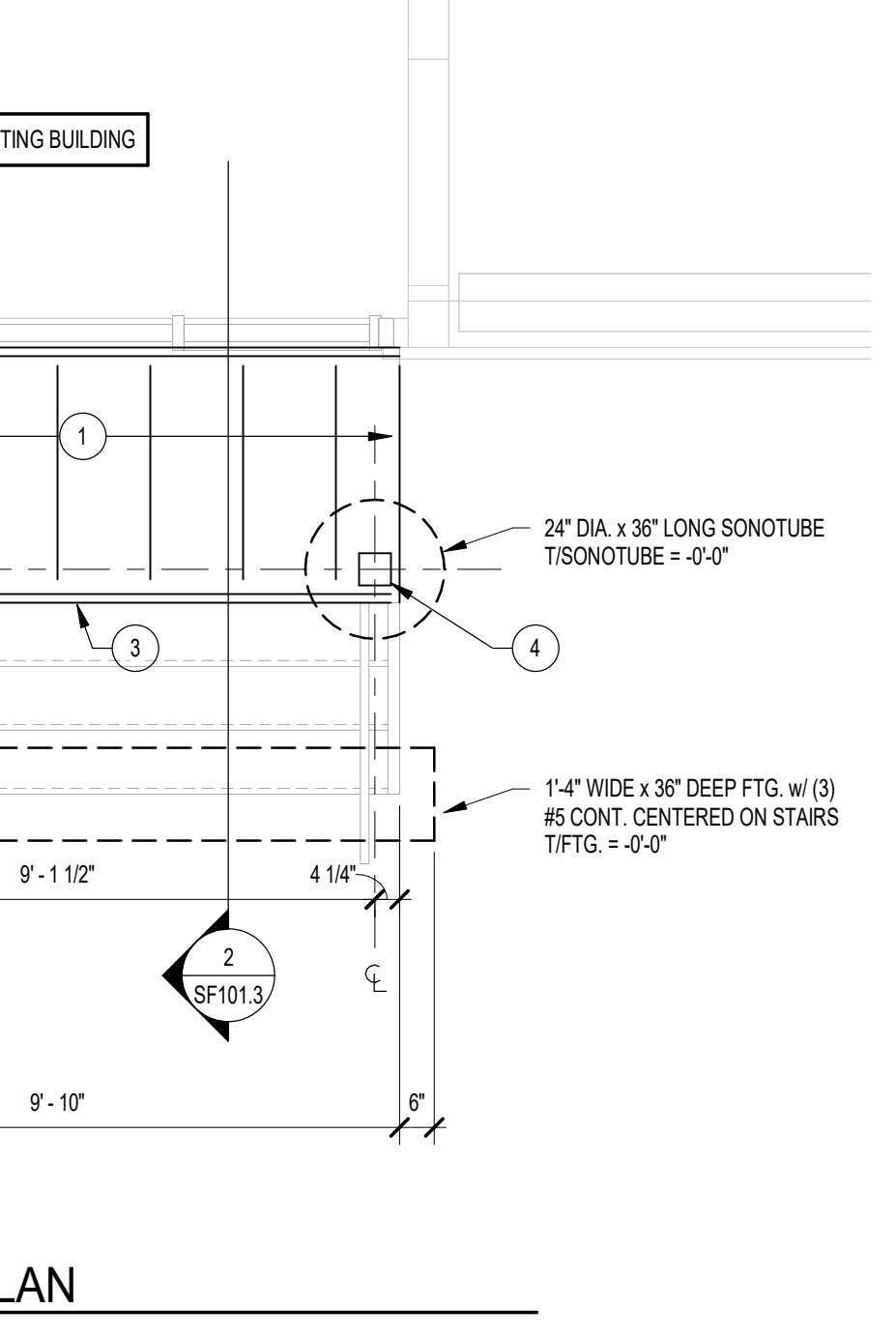
- 1. REF. SF101.3 FOR STRUCTURAL NOTES AND DESIGN DATA.

WOOD FRAMING KEY NOTES

- 1. 2x6 JOISTS AT 16" O.C. MAX. BEARING ON GRIDERS WITH SIMPSON STRONG-TIE L2SS GALV. HANGER - PPT SOUTHERN PINE No. 2 OR BETTER.



STUD HOLE SHRINKAGE DETAIL



FOUNDATION PLAN 3/8" = 1'-0"

FOUNDATION SECTION 3/4" = 1'-0"

SCHMIDT ASSOCIATES logo and contact information: schmidt-arch.com • 317.263.6226

Project No. 2021-036.GAH
Project Date 01.08.2026
Produced RMD/JMS

Professional Engineer seal for Robert M. DeStefano, No. 10102005, State of Indiana.

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Revision table with columns: #, Revision, Date.

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FOUNDATION PLAN & FIRST FLOOR FRAMING PLAN

SF101.3